

LOCATION MAP
NOT TO SCALE

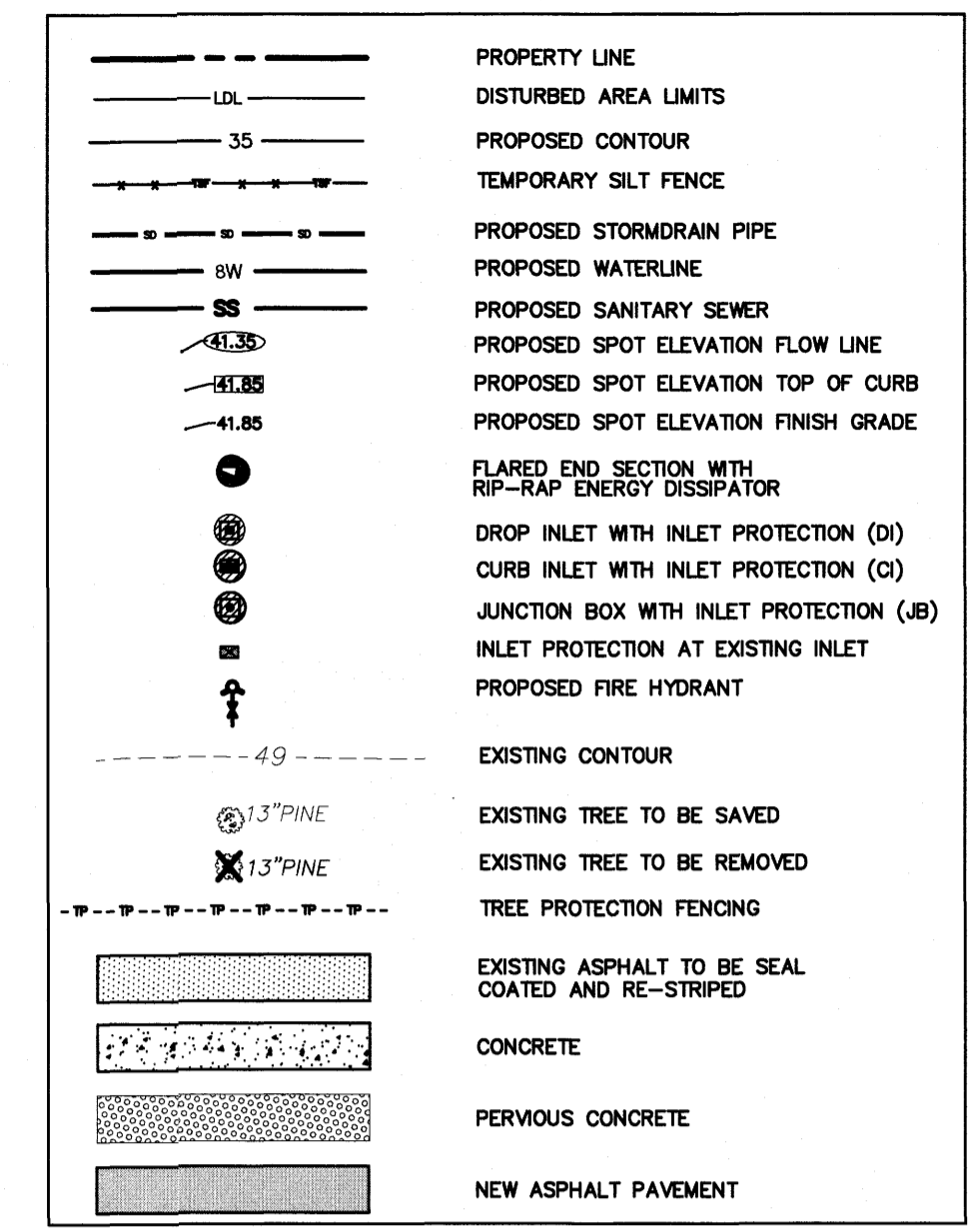
PID: R06007-004-002-000
CENTURA BANK
BK. 1516, PG. 1026
ZONE: O&I-1
USE: BANK SERVICES

PID: R06007-004-003-002
SAVANNAH COURT HOA INC
BK. 1301, PG. 0909
ZONE: MF-M
USE: MULTI FAMILY RESIDENTIAL

SAVANNAH CT.
60' PUBLIC ROW

SAVANNAH CT.
60' PUBLIC ROW

LEGEND



NHRMC Parking Requirements
April 22, 2020

City of Wilmington Code:

Hospital: 1 space / 2 licensed beds intruded for patient use, plus 1 space per each staff person including medical and support staff based on the largest employee shift.

Medical Office: 1 Space / 170 SF Maximum; 1 Space / 250 Minimum

Hospital Beds = 804 Beds = 402 Parking Spaces

Hospital Staff, Medical and Support Staff on Largest Shift = 3,344 Employees = 3,344 Parking Spaces

Zimmer Cancer Center = 90,000 SF Medical Office = 529 Parking Spaces Maximum; 360 Parking Spaces Minimum

Total Required Parking Spaces: 4,275 Maximum Parking Spaces; 4,106 Minimum Parking Spaces

Existing On-Campus Parking Spaces = 1,993 Parking Spaces*

Existing Deck and Surface Lot = 780 Parking Spaces*

Existing Glen Meade Lot = 54 Parking Spaces*

*Existing Parking Per Walker Parking Consultant Parking Assessment

Total Existing Parking Spaces: 2,827 Parking Spaces

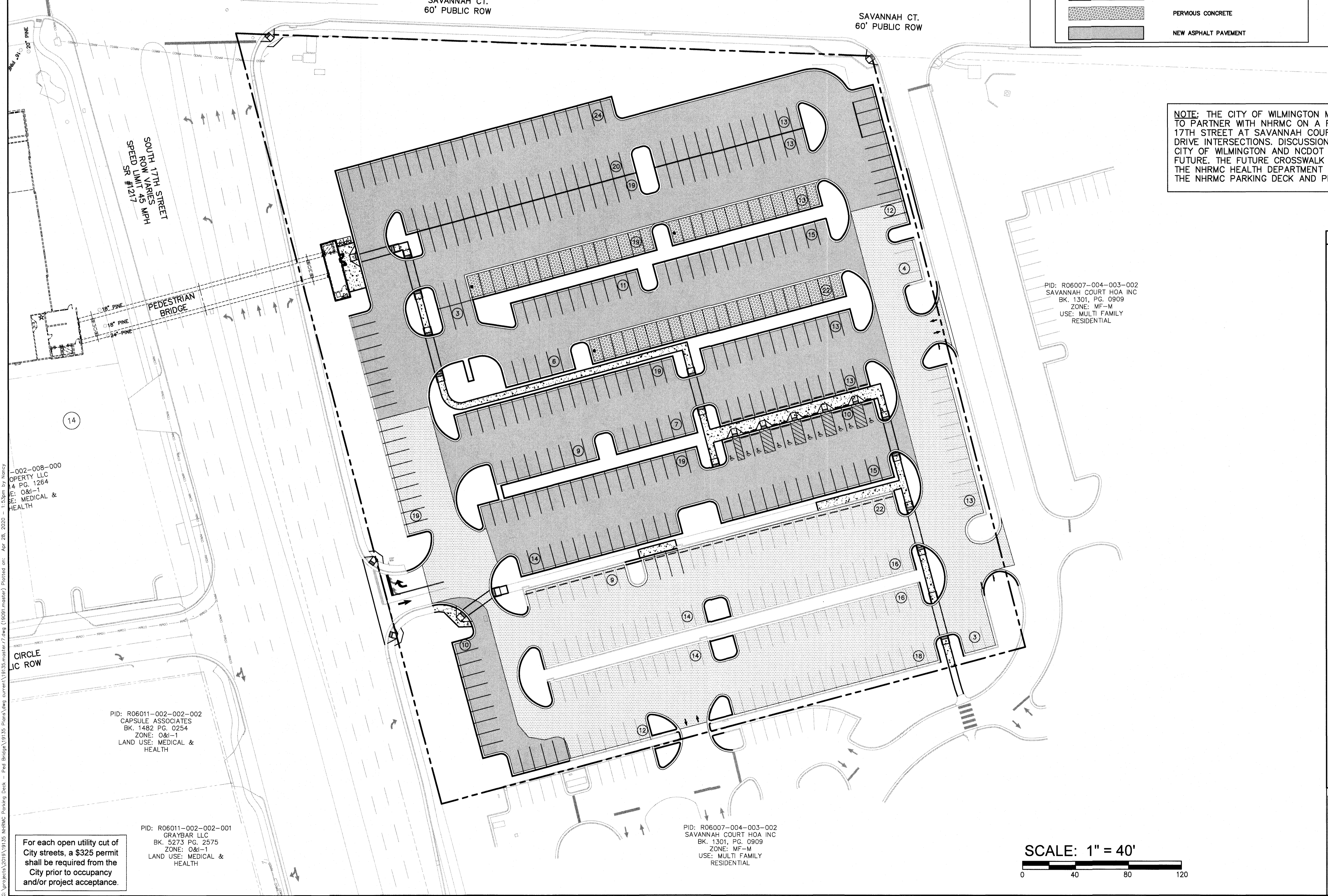
Proposed Health Department = 480 Parking Spaces

Proposed Parking Deck & Surface Lot (Old WAC Site) = 810 Parking Spaces

Total Existing & Future Parking Spaces = 4,117 Parking Spaces

NOTE: THE CITY OF WILMINGTON MPO AND NCDOT WOULD LIKE TO PARTNER WITH NHRMC ON A FUTURE CROSSWALK ACROSS 17TH STREET AT SAVANNAH COURT AND HOSPITAL PLAZA DRIVE INTERSECTIONS. DISCUSSIONS BETWEEN NHRMC, THE CITY OF WILMINGTON AND NCDOT WILL TAKE PLACE IN THE FUTURE. THE FUTURE CROSSWALK IS NOT A REQUIREMENT OF THE NHRMC HEALTH DEPARTMENT PARKING LOT PROJECT OR THE NHRMC PARKING DECK AND PEDESTRIAN BRIDGE PROJECT.

PROPOSED IMPERVIOUS:
BUILDING: 523 SF
ASPHALT, CURB & GUTTER = 151,155 SF
CONCRETE SIDEWALK = 7,918 SF
TOTAL PROPOSED = 159,596 SF
65.84% IMPERVIOUS
PERVIOUS CONCRETE = 7,475



PID: R06007-004-003-002
SAVANNAH COURT HOA INC
BK. 1301, PG. 0909
ZONE: MF-M
USE: MULTI FAMILY RESIDENTIAL

SITE DATA TABLE

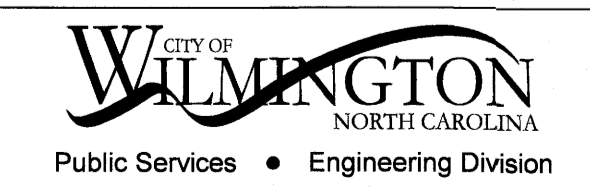
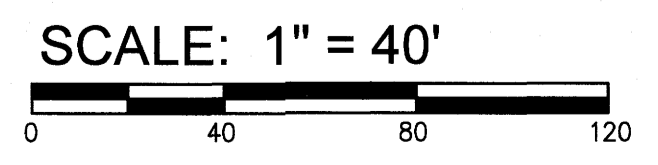
PROPOSED USE:	NHRMC SURFACE EMPLOYEE PARKING
SITE ADDRESS:	2029 S. 17TH ST.
PARCEL ID#:	R06011-004-013-000
MAP ID#:	312607.58.4313.000
PARCEL AREA:	5.56± ACRES (242,375 SF)
PARCEL OWNER:	NEW HANOVER REGIONAL MEDICAL CENTER
ZONING:	O&I-1 OFFICE AND INSTITUTIONAL
CAMA LAND USE:	URBAN
SOILS:	Le, Rm, Ur
THE PARCEL ARE LOCATED IN ZONE "X" - OUTSIDE THE 2% CHANCE OF FLOOD AND ZONE "X" - AREAS WITHIN THE 2% CHANCE OF FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP 3720312600J, PANEL , DATED: APRIL 3, 2006.	
WETLANDS DO NOT EXIST ON SITE	
BUILDING SETBACKS:	REQUIRED FRONT SETBACK: 20' PROPOSED FRONT SETBACK: 20' SIDE SETBACK SOUTH: 10' SIDE SETBACK SOUTH: 385' SIDE SETBACK NORTH: 20' SIDE SETBACK NORTH: 157' REAR SETBACK: 20' REAR SETBACK: 428'
MAXIMUM LOT COVERAGE: 40%	PROPOSED LOT COVERAGE: .002%
MAXIMUM BUILDING HEIGHT: 45', UP TO 75' WITH SPECIAL USE PERMIT, 35% LOT COVERAGE AND 80' BUILDING SETBACK WHEN ADJUTING A RESIDENTIAL DISTRICT.	
PROPOSED BUILDING HEIGHT: 33'±	
BUILDING AREA: 523 SF	
BUILDING CONSTRUCTION TYPE: II-B	
PROPOSED PARKING:	
PARKING REQUIREMENT HOSPITAL:	
1 PER EACH 2 LICENSED BEDS INTENDED FOR PATIENT USE, 1 PER EACH STAFF PERSON, INCLUDING MEDICAL AND SUPPORT STAFF BASED ON THE LARGEST EMPLOYEE SHIFT.	
-NO NEW BEDS	
-NO NEW EMPLOYEES	
SURFACE PARKING:	
REGULAR SPACES: 469 (51 ARE PERVIOUS CONCRETE)	
HC ACCESSIBLE SPACES: 10	
TOTAL PROPOSED: 479	
TOTAL PARKING: 480 SPACES	
HC SPACES REQUIRED (22): 10 SPACES	
HC SPACES PROVIDED: 10 SPACES	
BICYCLE PARKING REQUIRED: 20 SPACES	
BICYCLE PARKING PROVIDED: 20 SPACES	
LANDSCAPING: (REFER TO LANDSCAPE PLAN)	
STREET/YARD REQUIRED: 18 MULTIPLIER (9' MIN/27' MAX.)	
FRONT: 600-30X18 = 10,260 SF REQUIRED (10,260 SF PROVIDED)	
SIDE: 460X9 = 4,140 SF REQUIRED (4,140 SF PROVIDED)	
INTERIOR LANDSCAPING O&I-1: 30% CANOPY COVER OF INTERIOR AREA OF PARKING FACILITY BASED ON AMOUNT OF PARKING AREA IMPERVIOUS SURFACE. REFER TO LANDSCAPE PLAN.	
FOUNDATION PLANTINGS REQUIRED: 12% OF THE AREA OF THE FACE OF THE BUILDING. WEST SIDE: (44)X(33)X(12)=174 SF REQUIRED AND PROVIDED. REFER TO LANDSCAPE PLAN	
SOLID WASTE REMOVAL: HAND CARTS TO BE MAINTAINED BY HOSPITAL MAINTENANCE.	
WATER AND SEWER CAPACITY NEEDS: NONE REQUIRED	
DISTURBED AREA LIMITS: 4.22± ACRES	

PID: R06011-002-002-002
CAPSULE ASSOCIATES
BK. 1482 PG. 0254
ZONE: O&I-1
LAND USE: MEDICAL & HEALTH

PID: R06011-002-002-001
GRAYBAR LLC
BK. 5273 PG. 2575
ZONE: O&I-1
LAND USE: MEDICAL & HEALTH

PID: R06007-004-003-002
SAVANNAH COURT HOA INC
BK. 1301, PG. 0909
ZONE: MF-M
USE: MULTI FAMILY RESIDENTIAL

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit #: _____
Signed: _____

Approved Construction Plan
Name _____ Date _____

Planning _____
Traffic _____
Fire _____

**OVERALL SITE PLAN
HEALTH DEPARTMENT PARKING LOT
2029 S. 17TH STREET
WILMINGTON, N. C.**

OWNER/DEVELOPER
NHRMC
P.O. BOX 9000
WILMINGTON, NC 28402
910 343-32788

NORRIS & TUNSTALL
CONSULTING ENGINEERS P.C.
2609 IRON GATE DR. SUITE 102
WILMINGTON, NC 28403
PHONE (910) 343-9653
1429 ASH-LITTLE RIVER RD. NW
ASH, NC 28402
PHONE (910) 287-5900

Licence #C-3641
19091
DES. JST
CHK. JPN
DRWN. NKS
DATE 4/28/20

CO PRELIMINARY

G:\projects\2019\1910_NHRMC_Parking_Deck - Ped Bridge\1910_NHRMC_Parking_Deck - Ped Bridge\1910_NHRMC_Parking_Deck - Ped Bridge.dwg (100% master) Printed on: Apr 28, 2020 - 11:53am by Nancy



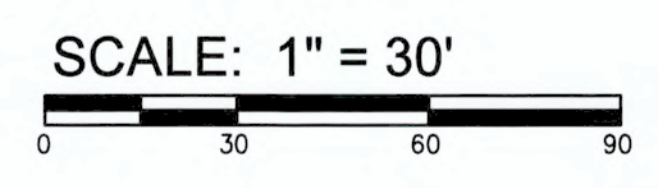
TREE REMOVAL TABLE

REGULATED TREES				
OAKS	PINES	HOLLY	MAPLE	DOGWOOD
9" (2)	12" (1)	5" (1)	12" (2)	7" (1)
10" (2)	14" (1)	12" (2)	14" (1)	
11" (4)	16" (1)	15" (1)		
12" (1)	17" (1)	16" (1)		
14" (3)	20" (1)			
17" (2)	22" (1)			
18" (1)				
20" (1)				
28" (1)				
SIGNIFICANT TREES				
OAKS				
28" (1)				

NOTE: PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

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SAVANNAH COURT HOA INC
BK. 1301, PG. 0909
ZONE: MF-M
USE: MULTI FAMILY RESIDENTIAL

	PHASE 1
	PHASE 2
	PHASE 3
	EXISTING ASPHALT TO REMAIN



CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name: _____ Date: _____
Planning _____
Traffic _____
Fire _____

DEMOLITION AND PHASING PLAN
HEALTH DEPARTMENT PARKING LOT
2029 S. 17TH STREET
WILMINGTON, N. C.

OWNER/DEVELOPER
NHRMC
P.O. BOX 9000
WILMINGTON, NC 28402
910.343.2786

NORRIS & TUNSTALL
CONSULTING ENGINEERS P.C.
2602 IRON GATE DR., SUITE 102
WILMINGTON, NC 28409
PHONE: (910) 343-9633

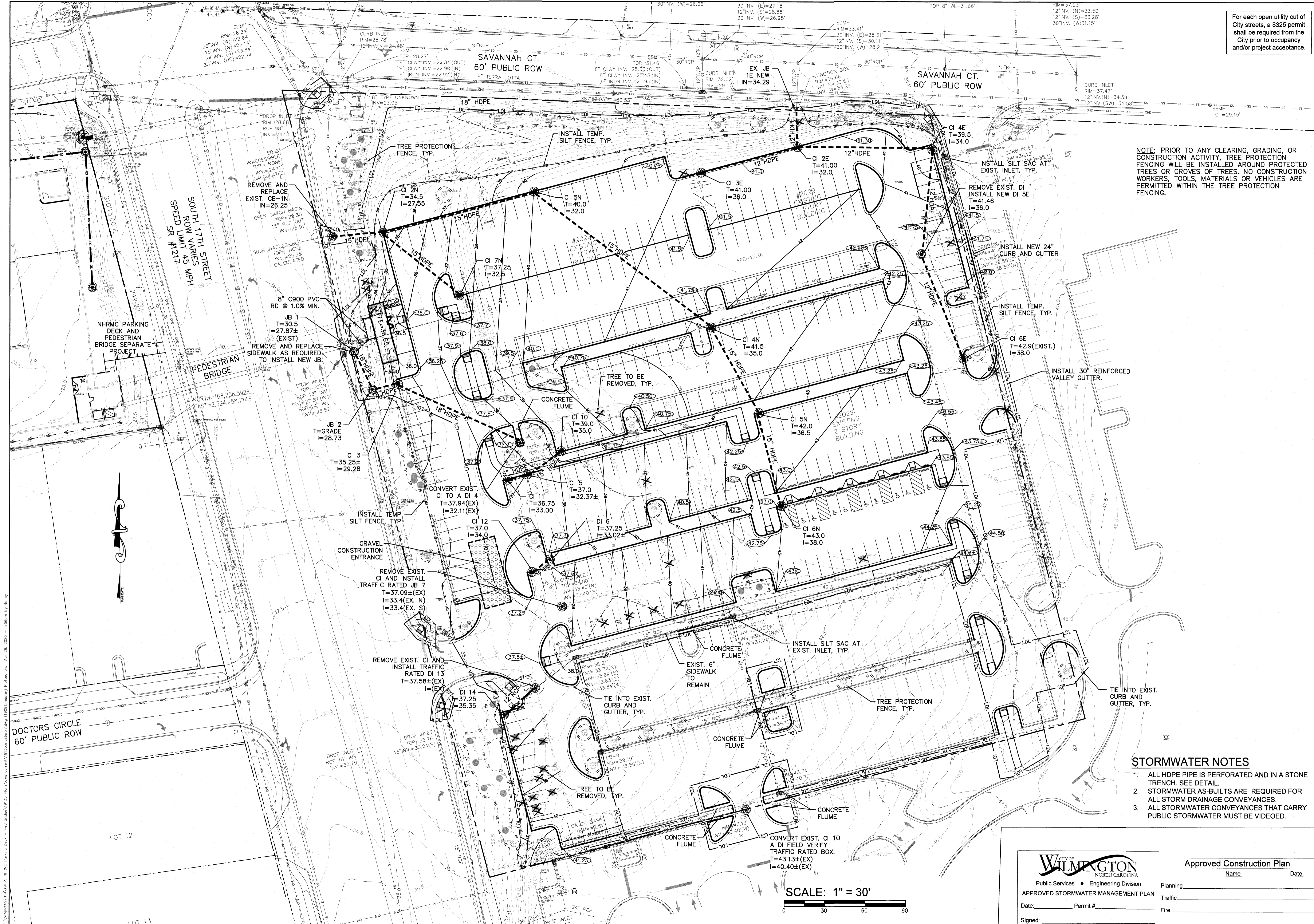
License #C-3641
19091
DES. JST
CHK. JPN
DRWN. NKS
DATE 4/15/20

C1
PRELIMINARY

PID: R06007-002-008-000
AGG PROPERTY LLC
BK. 5514 PG. 1264
ZONE: O&I-1
LAND USE: MEDICAL & HEALTH

PID: R06011-002-002-002
CAPSULE ASSOCIATES
BK. 1482 PG. 0254
ZONE: O&I-1
LAND USE: MEDICAL & HEALTH

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

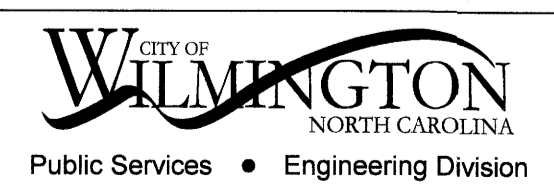
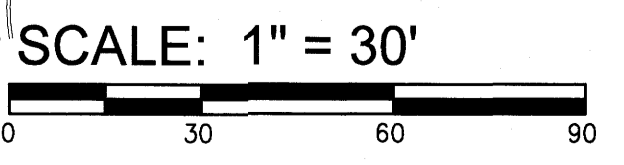


For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NOTE: PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

STORMWATER NOTES

- ALL HDPE PIPE IS PERFORATED AND IN A STONE TRENCH. SEE DETAIL.
- STORMWATER AS-BUILTS ARE REQUIRED FOR ALL STORM DRAINAGE CONVEYANCES.
- ALL STORMWATER CONVEYANCES THAT CARRY PUBLIC STORMWATER MUST BE VIDEOED.



APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

GRADING, DRAINAGE AND EROSION CONTROL PLAN
HEALTH DEPARTMENT PARKING LOT
2026 S. 17TH STREET WILMINGTON, N. C.

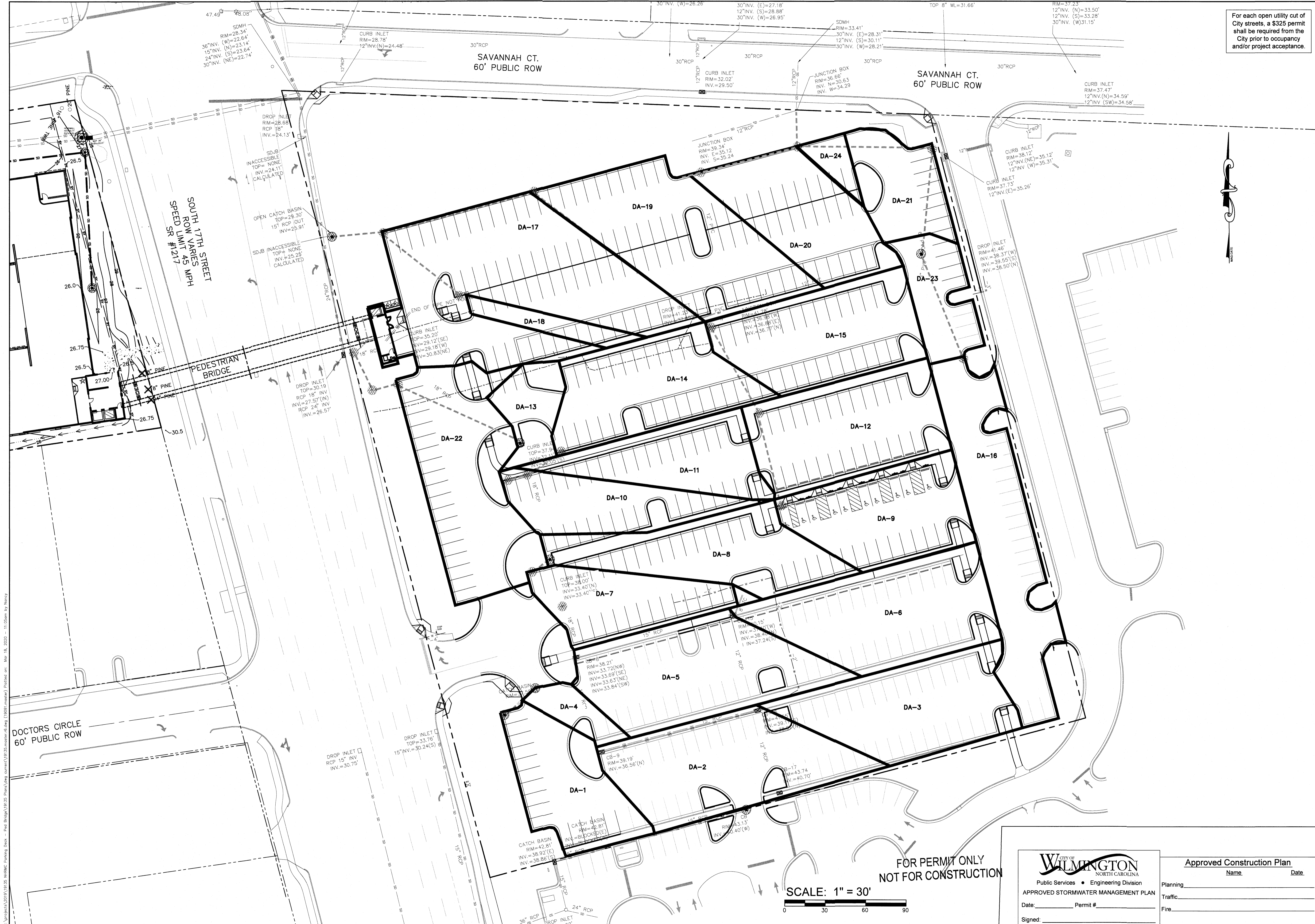
OWNER/DEVELOPER
NHRMC
P.O. BOX 9000
WILMINGTON, NC 28402
910 343-2788

NORRIS & TUNSTALL
CONSULTING ENGINEERS P.C.
2602 IRON GATE DR., SUITE 102
WILMINGTON, NC 28403
PHONE (910) 343-9653

License #C-3641
19091
DES. JST
CKD. JPN
DRWN. NKS
DATE 4/28/20

C2
PRELIMINARY

C:\projects\2019\101305_nhrmc_parking_lot - Red_Bldg\101305_nhrmc_parking_lot.dwg (10/20/2019) Plotter: srs Apr 28, 2020 1:58:58 PM by Nancy



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



FOR PERMIT ONLY
NOT FOR CONSTRUCTION

SCALE: 1" = 30'

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____
Signed: _____

Approved Construction Plan

Name _____ Date _____

Planning _____
Traffic _____
Fire _____

DRAINAGE AREA PLAN
HEALTH DEPARTMENT PARKING LOT
2026 S. 17TH STREET WILMINGTON, N. C.

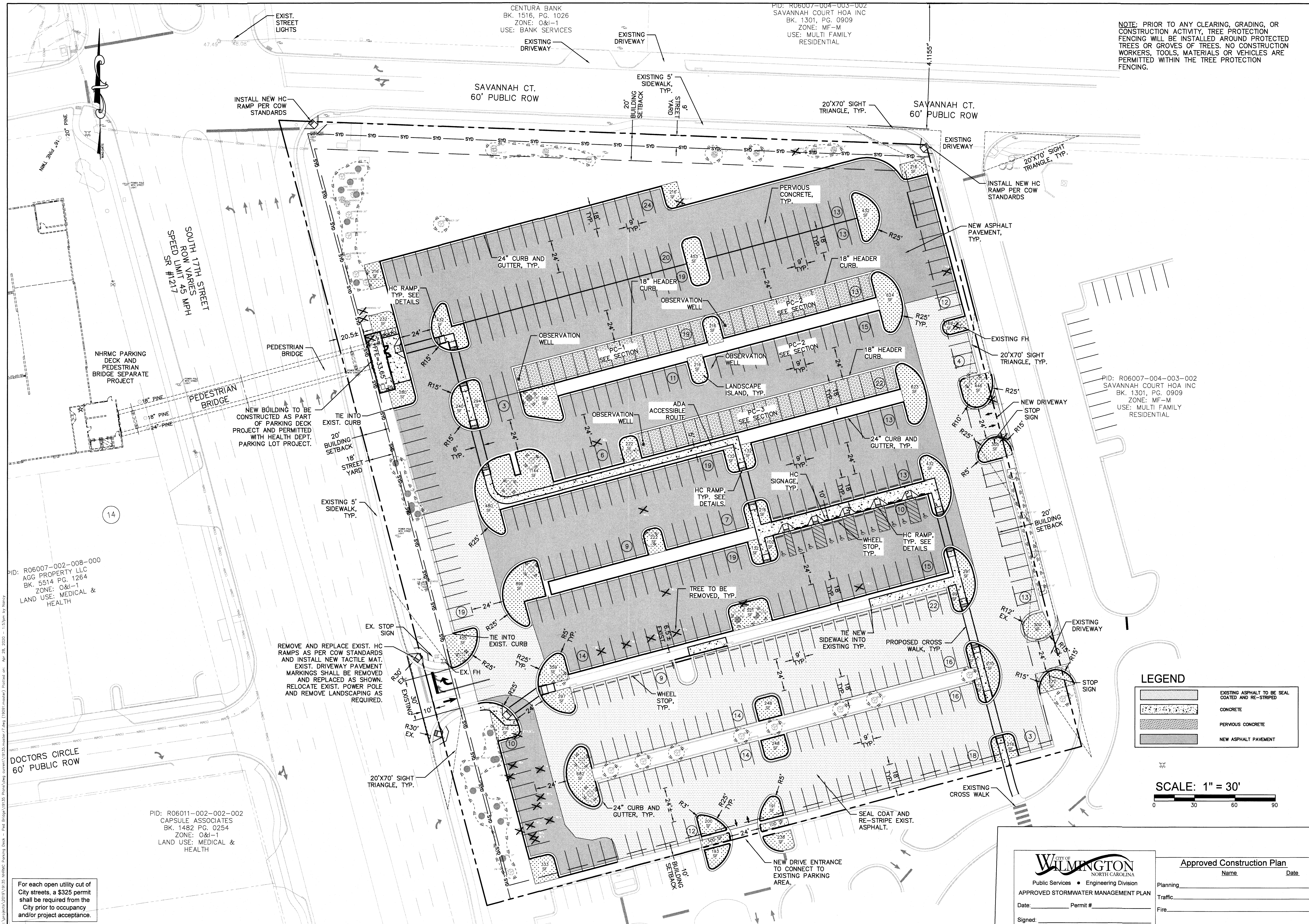
OWNER/DEVELOPER
NHRMC
P.O. BOX 9000
WILMINGTON, NC 28402
910 343-2788

NORRIS & TUNSTALL
CONSULTING ENGINEERS P.C.
2602 IRON GATE DR., SUITE 102
WILMINGTON, NC 28403
PHONE (910) 343-9653

Licence #C-3641
19091
DES. JST
CHK. JPN
DRWN. NKS
DATE 03/18/20

C2.1

C:\projects\2019\19091\19091_Storm\Drawings\19091-Storm-4.dwg (19091-Storm-4.dwg) Printed on: Mar 18, 2020 - 11:05am by Nancy



NOTE: PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

LAYOUT PLAN
HEALTH DEPARTMENT PARKING LOT
2029 S. 17TH STREET
WILMINGTON, N. C.

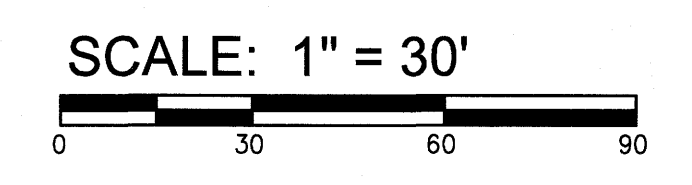
OWNER/DEVELOPER
NHRMC
P.O. BOX 9000
WILMINGTON, NC 28402
910 343-2788

NORRIS & TUNSTALL
CONSULTING ENGINEERS P.C.
2602 IRON GATE DR., SUITE 102
WILMINGTON, NC 28403
PHONE (910) 343-9653
1429 ASH-LITTLE RIVER RD. NW
ASH, NC 28620
PHONE (910) 287-5900

License #C-3641
19091
DES. JST
CKD. JPN
DRWN. NKS
DATE 4/28/20

LEGEND

[Stippled Pattern]	EXISTING ASPHALT TO BE SEAL COATED AND RE-STRIPED
[Dotted Pattern]	CONCRETE
[Cross-hatched Pattern]	PERVIOUS CONCRETE
[Solid Grey]	NEW ASPHALT PAVEMENT



CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

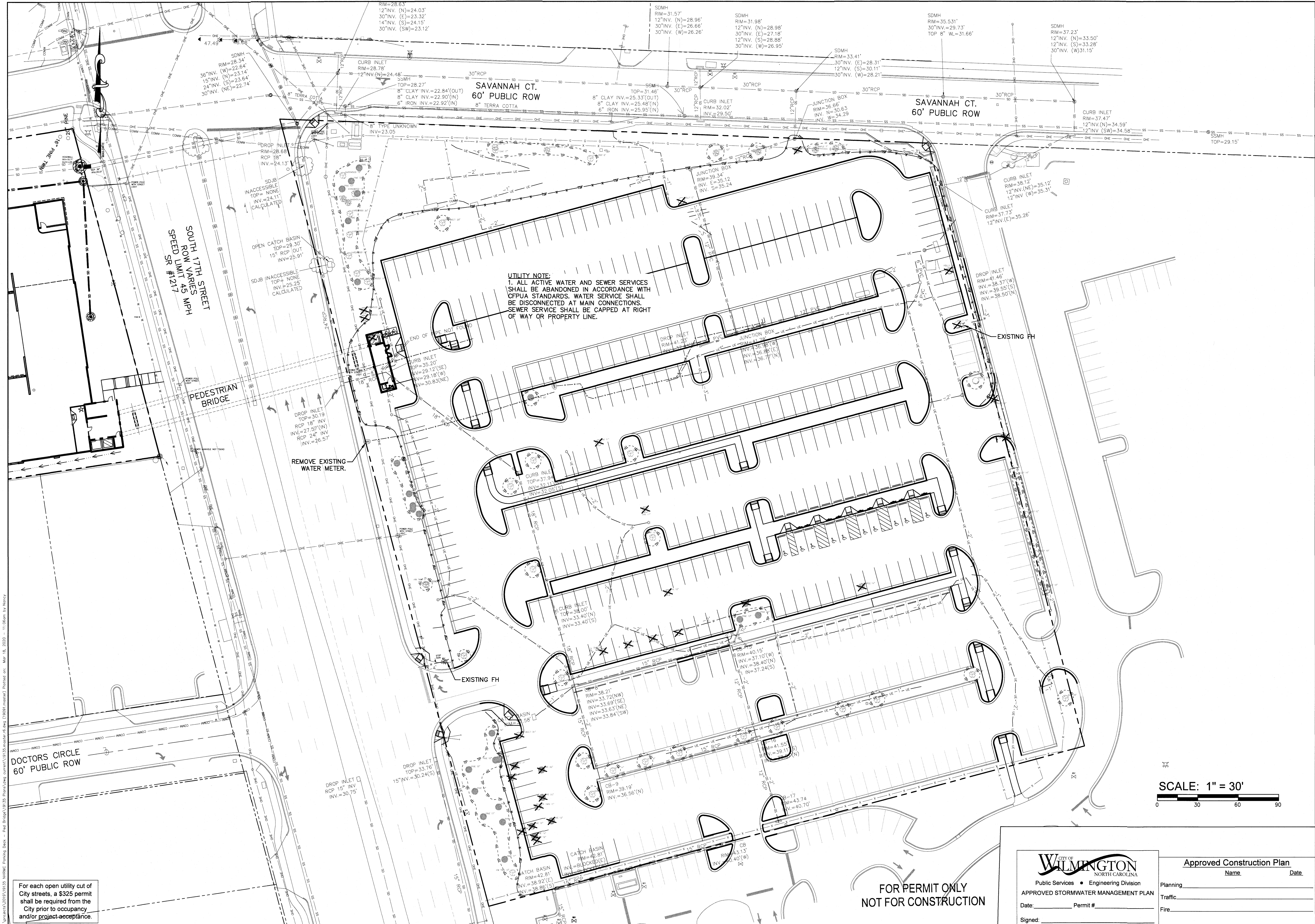
Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

C3
PRELIMINARY

PID: R06007-002-008-000
AGG PROPERTY LLC
BK. 5514 PG. 1264
ZONE: O&I-1
LAND USE: MEDICAL & HEALTH

PID: R06011-002-002-002
CAPSULE ASSOCIATES
BK. 1482 PG. 0254
ZONE: O&I-1
LAND USE: MEDICAL & HEALTH

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



UTILITY NOTE:
 1. ALL ACTIVE WATER AND SEWER SERVICES SHALL BE ABANDONED IN ACCORDANCE WITH CUPA STANDARDS. WATER SERVICE SHALL BE DISCONNECTED AT MAIN CONNECTIONS. SEWER SERVICE SHALL BE CAPPED AT RIGHT OF WAY OR PROPERTY LINE.

SOUTH 17TH STREET
 ROW VARIES
 SPEED LIMIT 45 MPH
 SR #1217

PEDESTRIAN BRIDGE

REMOVE EXISTING WATER METER.

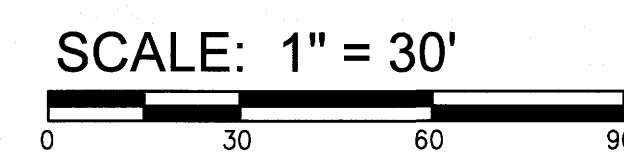
EXISTING FH

EXISTING FH

DOCTORS CIRCLE
 60' PUBLIC ROW

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

FOR PERMIT ONLY
 NOT FOR CONSTRUCTION



CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

UTILITY PLAN
 HEALTH DEPARTMENT PARKING LOT
 2029 S. 17TH STREET
 WILMINGTON, N. C.

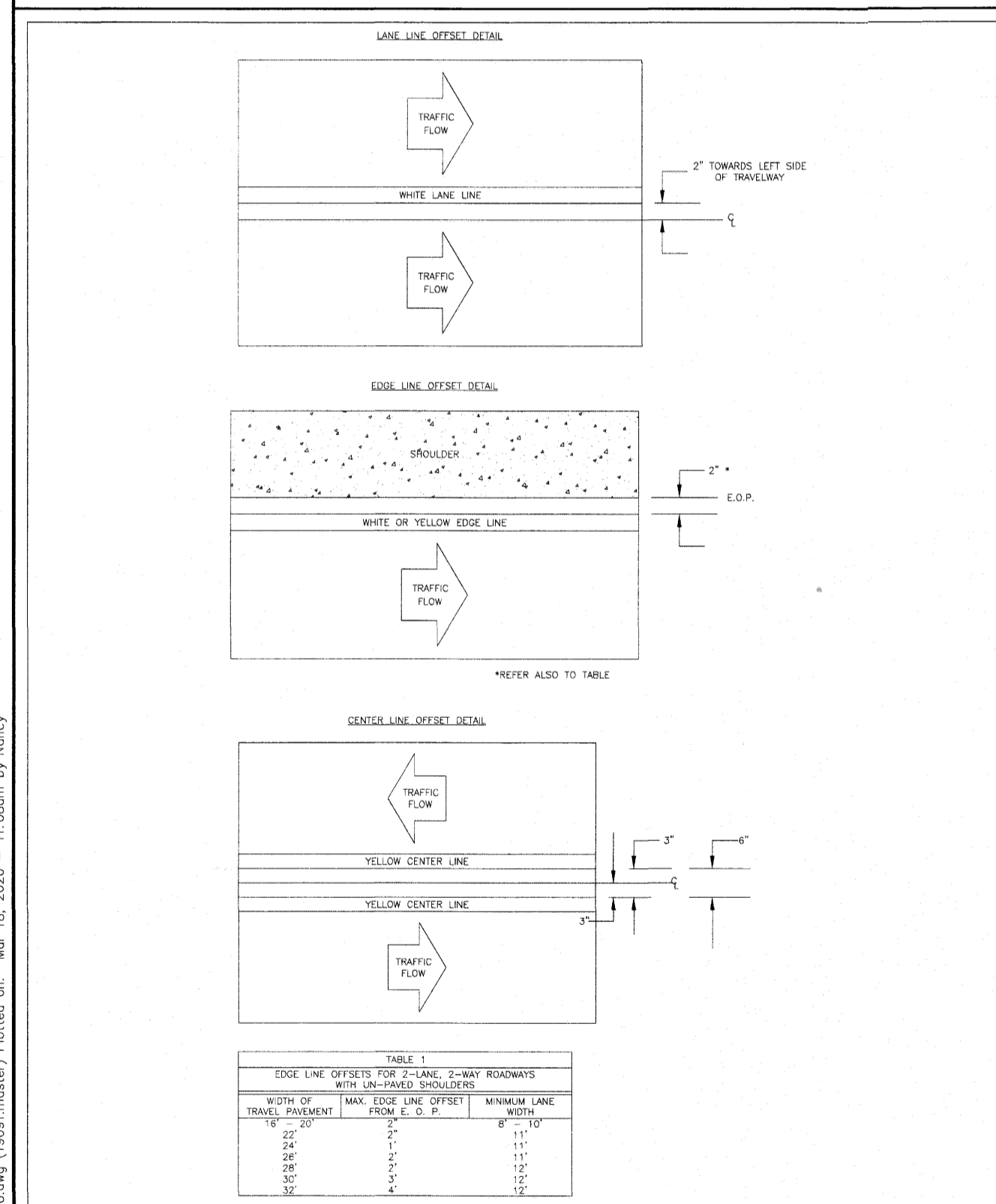
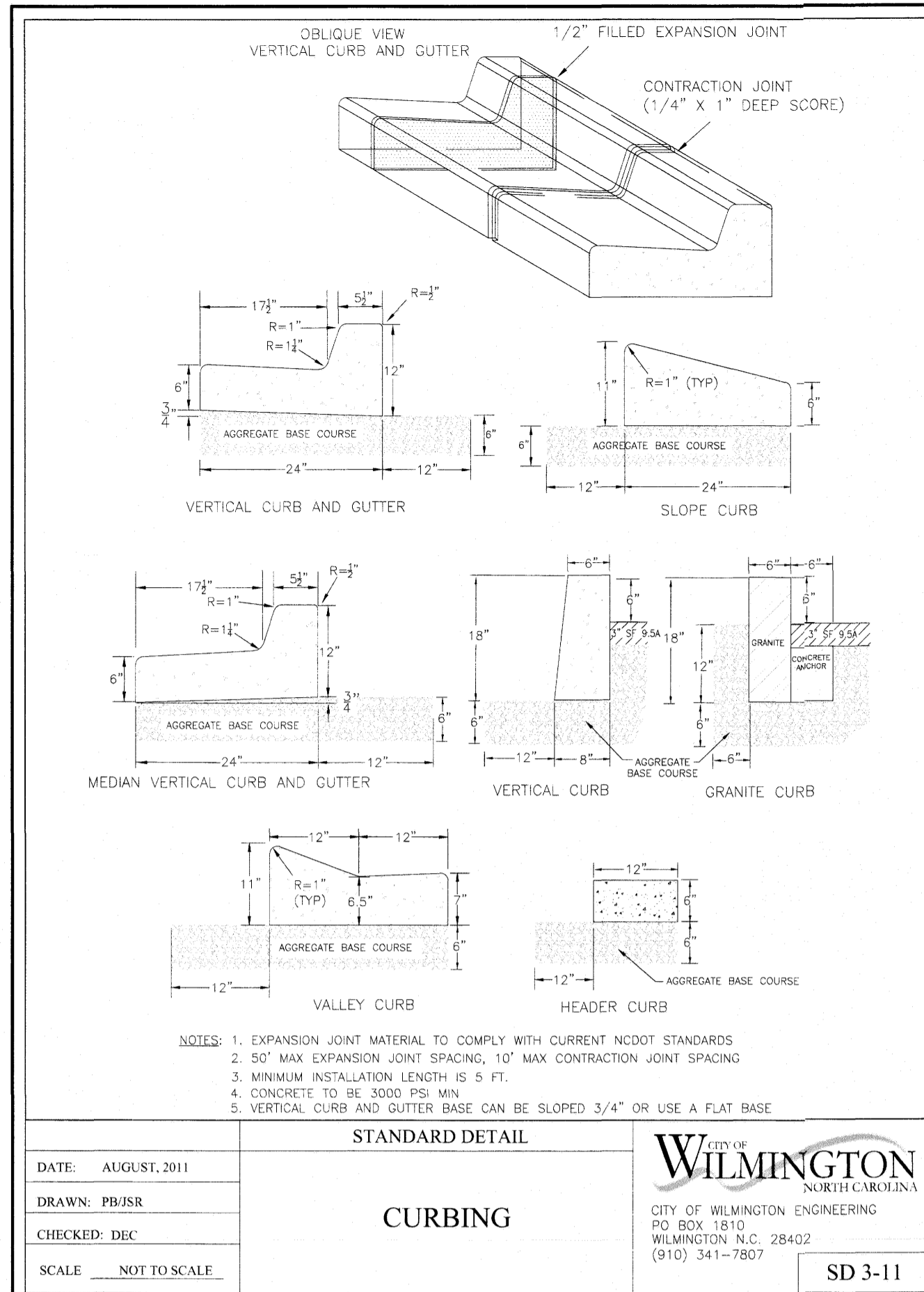
OWNER/DEVELOPER
 NHRMC
 P.O. BOX 9000
 WILMINGTON, NC 28402
 910-343-2788

NORRIS & TUNSTALL
 CONSULTING ENGINEERS P.C.
 2602 IRON GATE DR., SUITE 102
 WILMINGTON, NC 28405
 PHONE (910) 343-9625
 1429 ASH-LITTLE RIVER RD. NW
 WILMINGTON, NC 28403
 PHONE (910) 287-5900

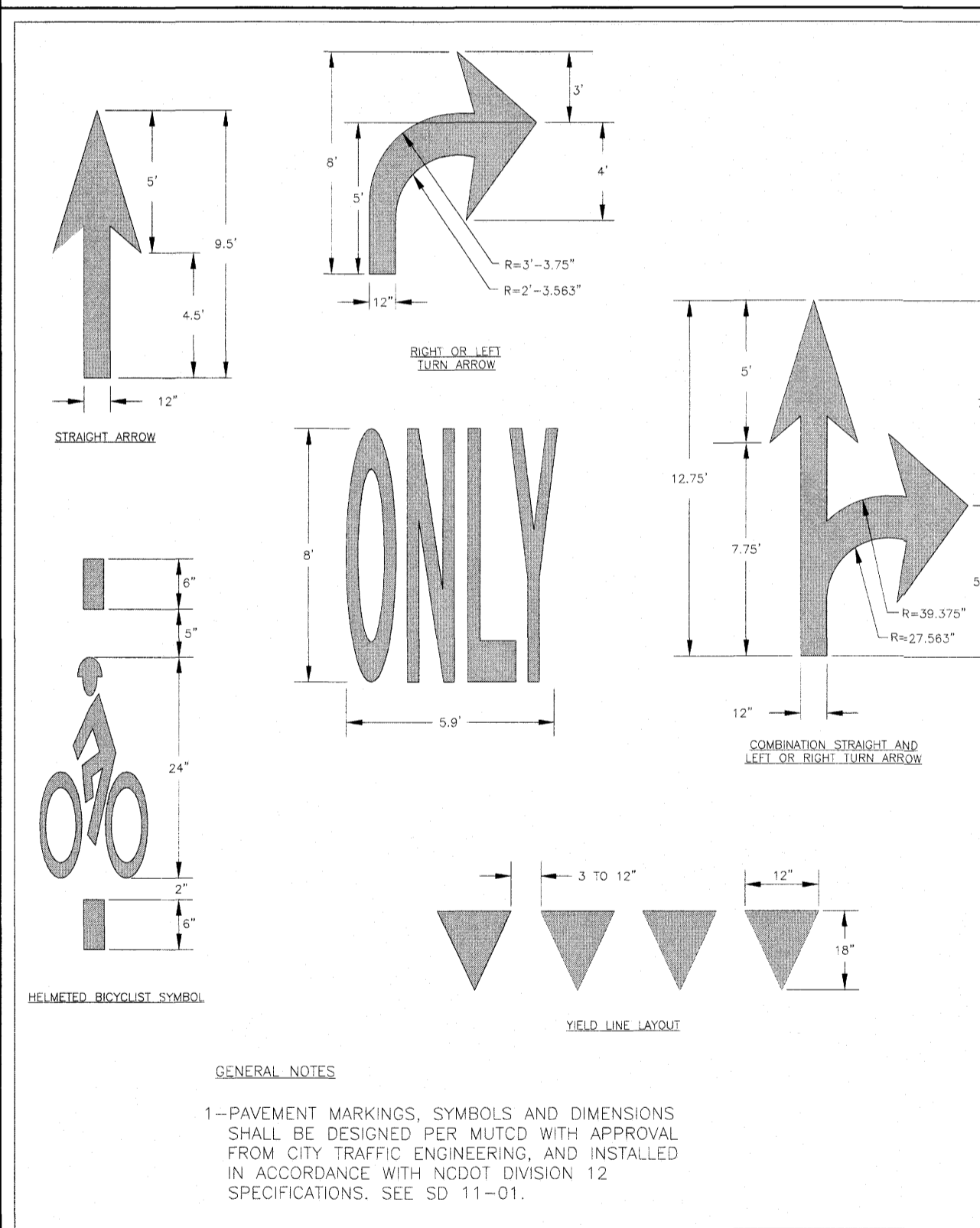
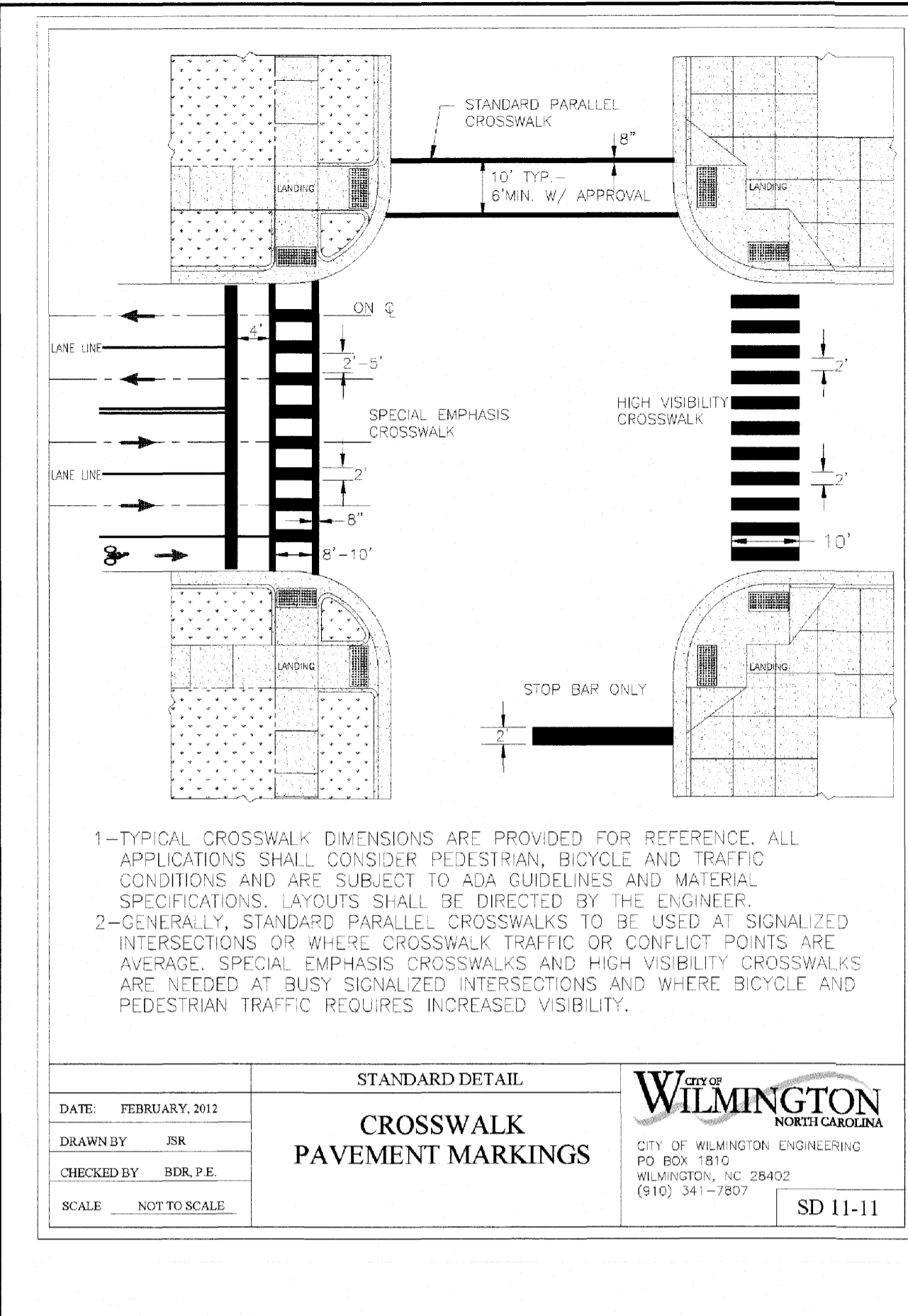
Licence #C-3641
19091
 DES. JST
 CKD. JPN
 DRWL. NKS
 DATE 03/18/20

C4

C:\projects\2019\19091\19091_SitePlan.dwg (19091.mxd) Plotted on: Mar 18, 2020 - 11:06am by Nancy

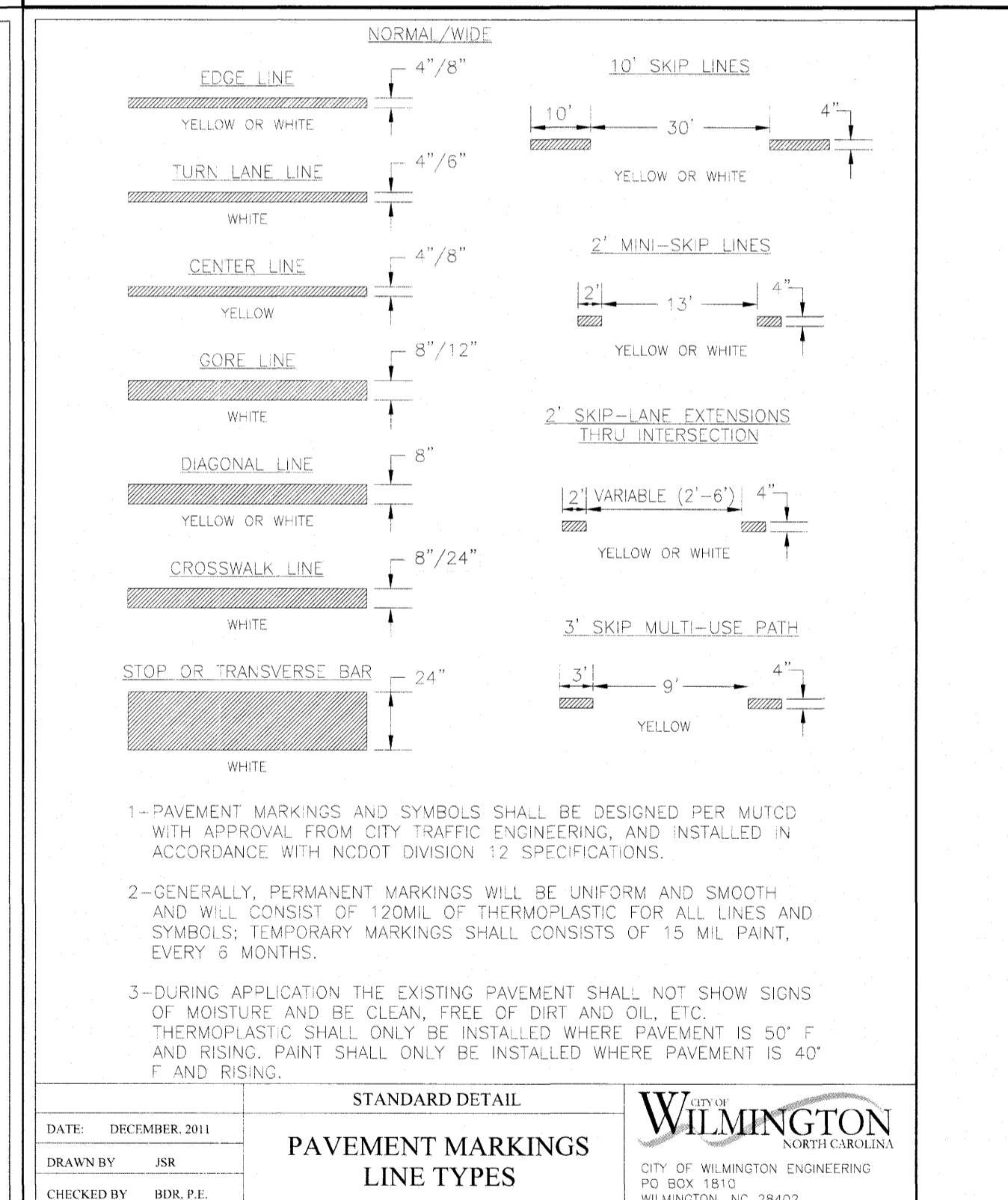
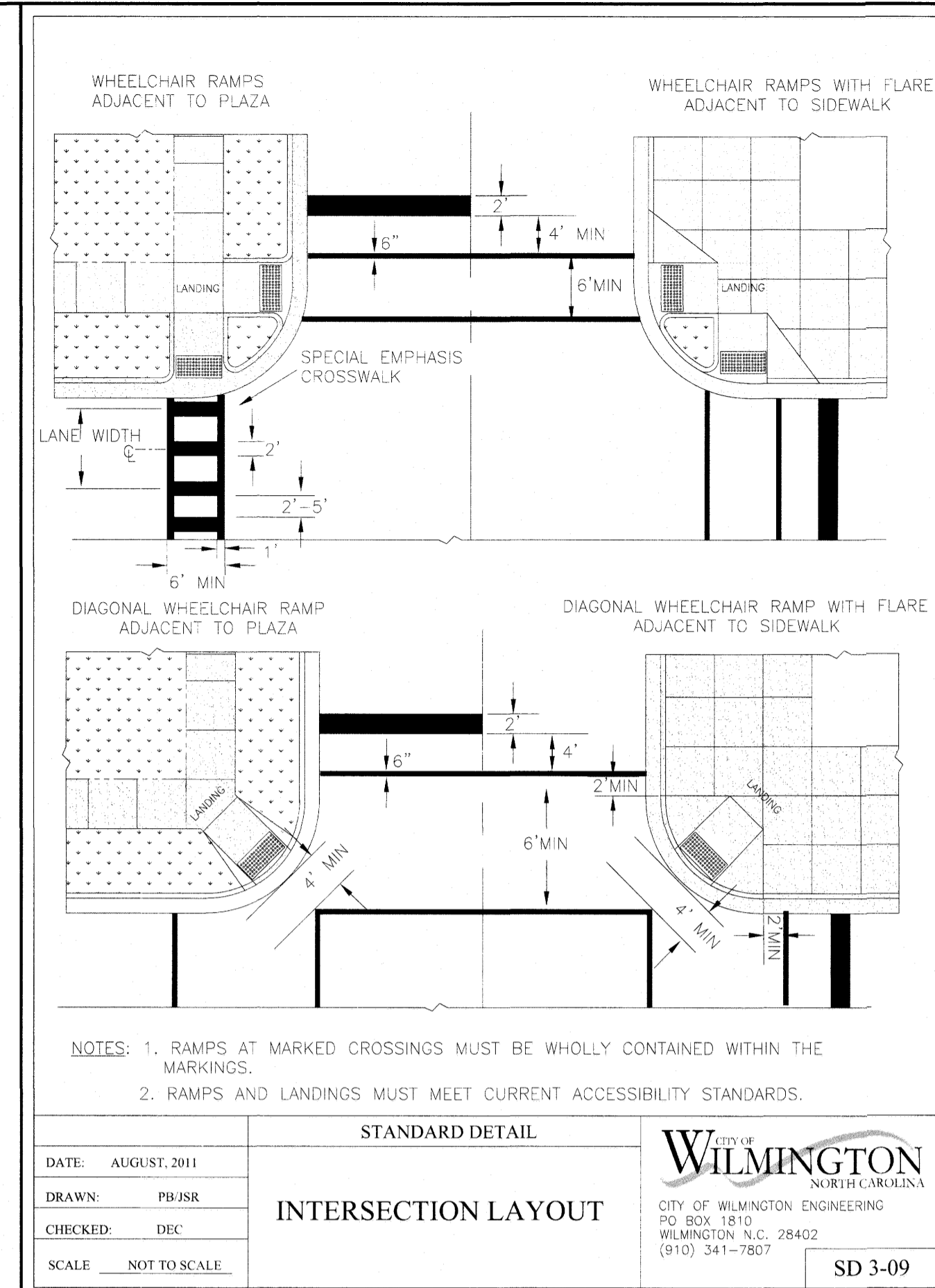


STANDARD DETAIL
PAVEMENT MARKINGS OFFSETS
 DATE: 2003
 DRAWN BY: RLB
 CHECKED BY: RLJ/RJF
 SCALE: NOT TO SCALE
 CITY OF WILMINGTON NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807
 SD 11-02

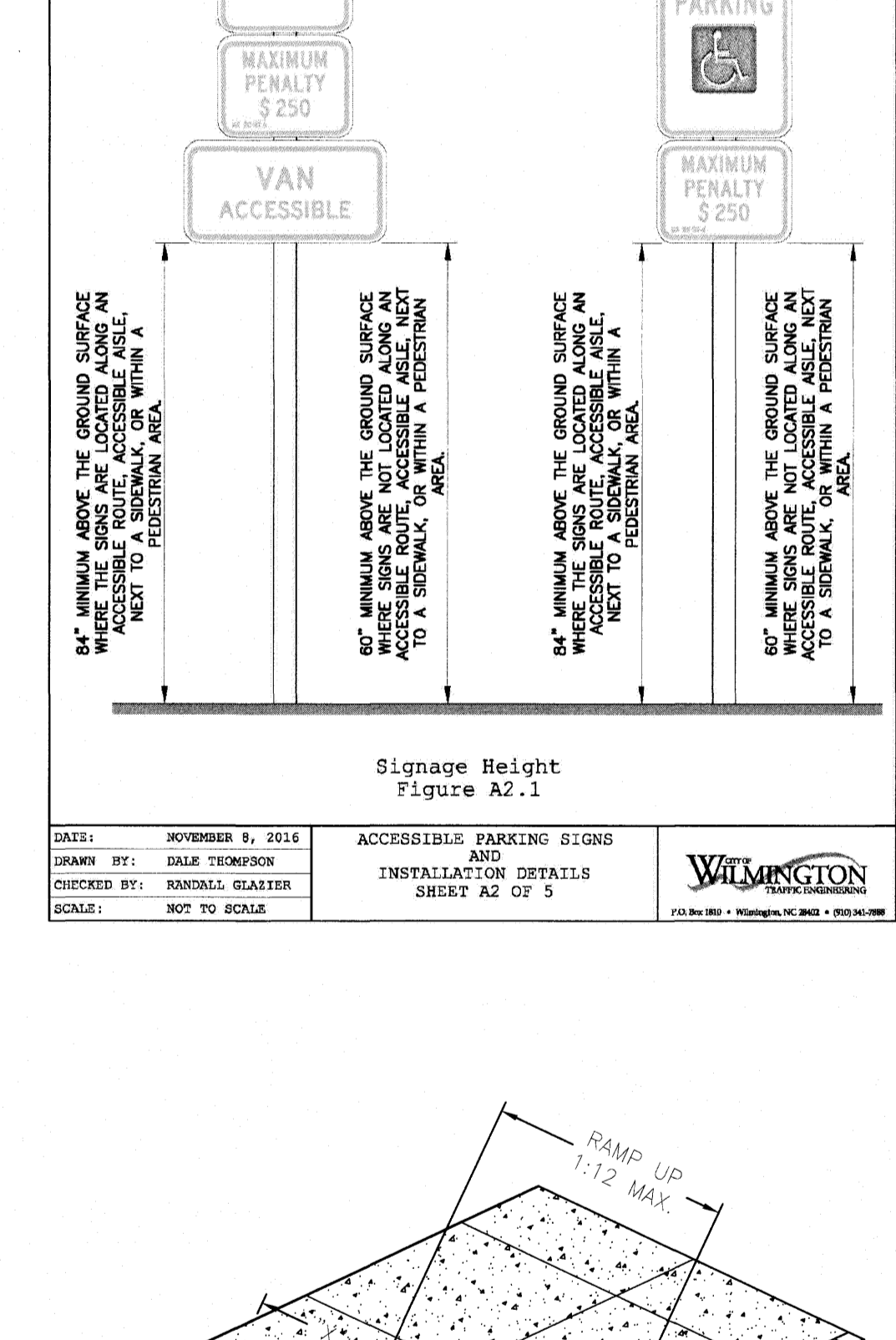
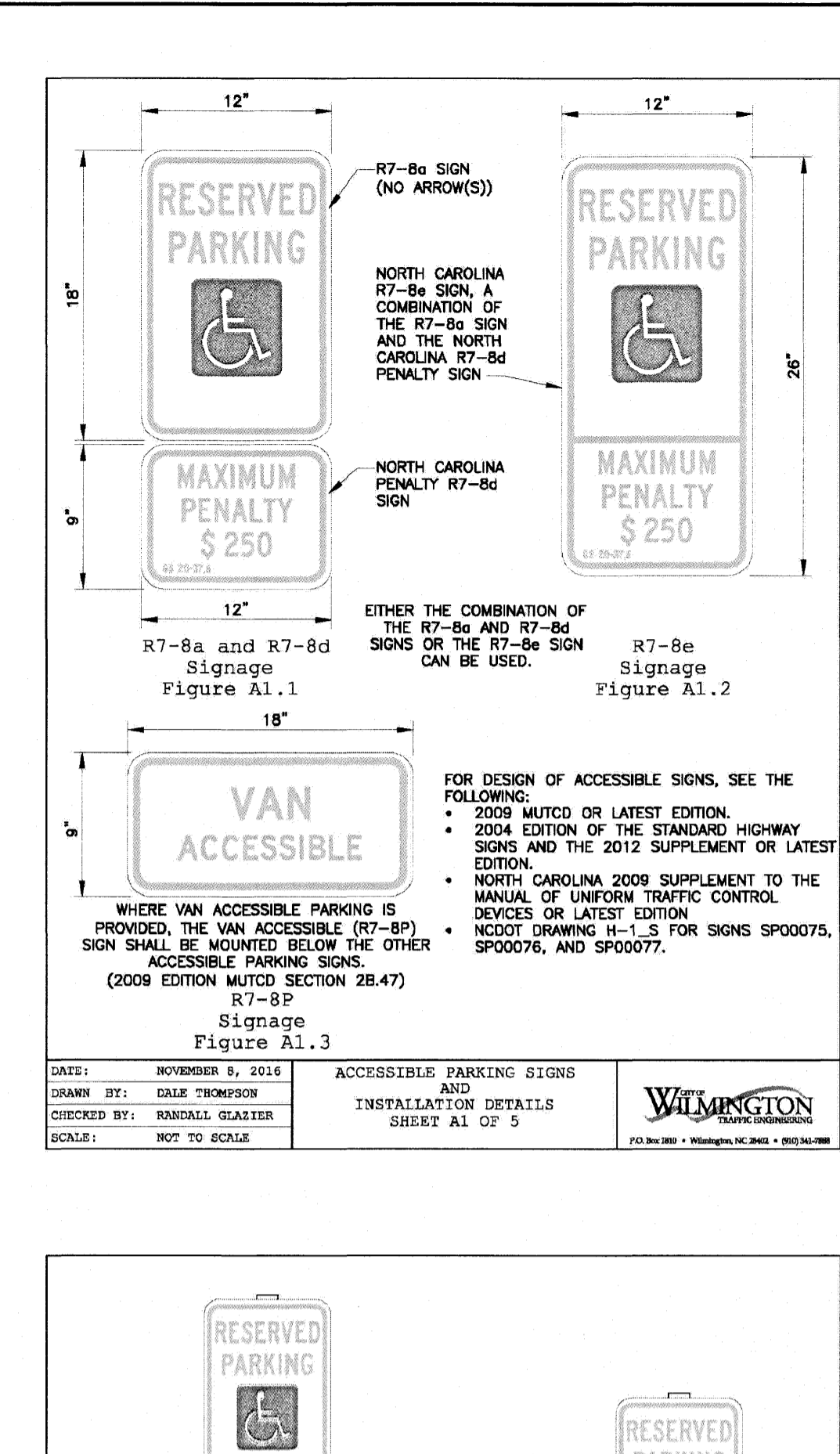
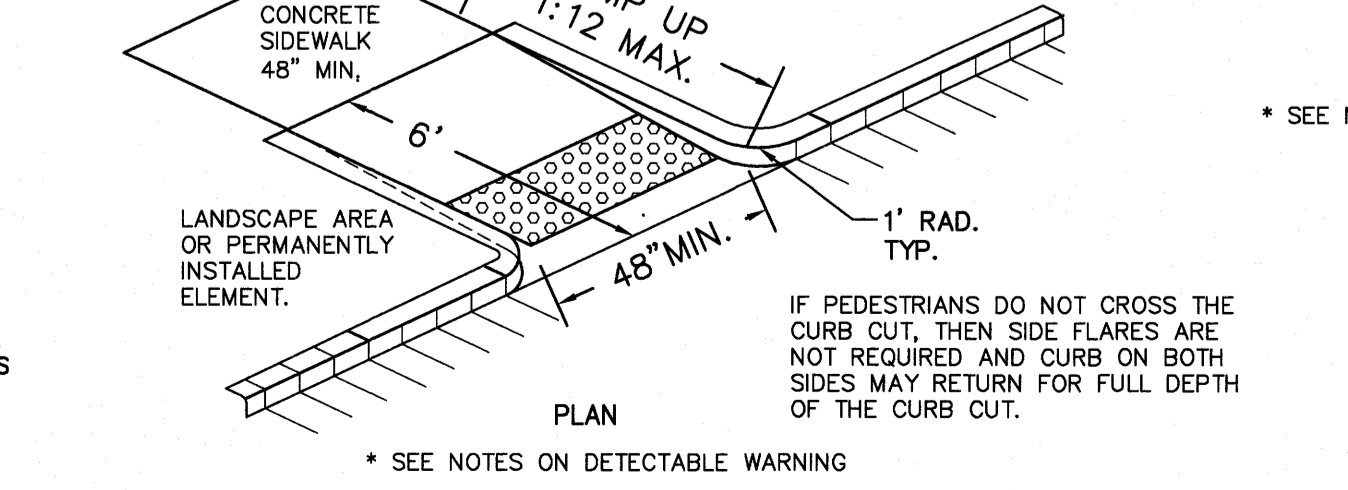


STANDARD DETAIL
GUIDELINES FOR PAVEMENT MARKINGS AND SYMBOLS
 DATE: OCTOBER, 2012
 DRAWN BY: JSR
 CHECKED BY: BDR, P.E.
 SCALE: NOT TO SCALE
 CITY OF WILMINGTON NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807
 SD 11-03

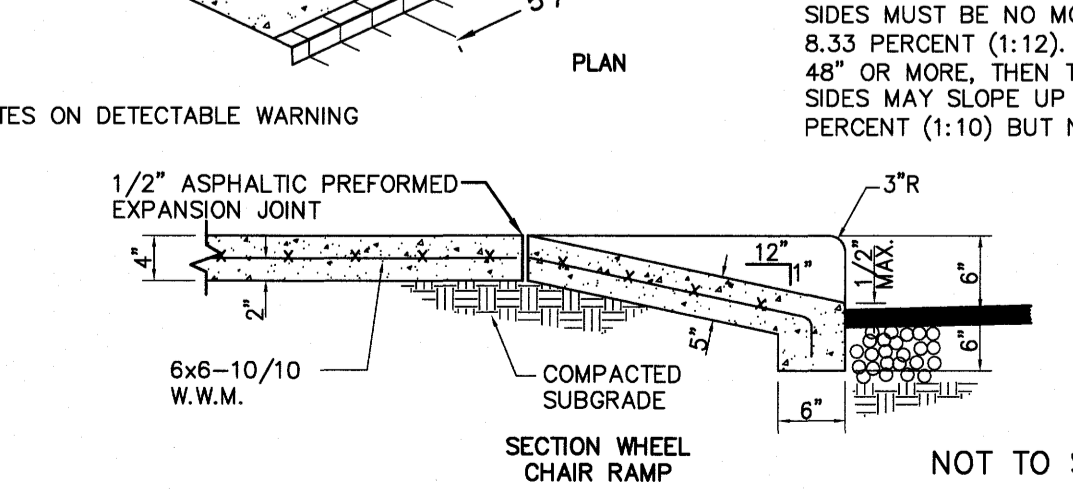
- DETECTABLE WARNING NOTES**
1. RAMP SHALL HAVE A DETECTABLE WARNING COMPLYING WITH ADA GUIDELINES. "COLONIAL RED" COLOR FOR DOME.
 2. THE DETECTABLE WARNINGS AT CURB RAMPS SHALL BE 24 INCHES MINIMUM IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE.
 3. MARKED CROSSINGS THAT ARE RAISED TO THE SAME LEVEL AS THE ADJOINING SIDEWALK SHALL BE PRECEDED BY A 24 INCH DEEP DETECTABLE WARNING EXTENDING THE FULL WIDTH OF THE MARKED CROSSING.
 4. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN (23 MM), A HEIGHT OF NOMINAL 0.2 IN (5 MM) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN (60 MM) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHOULD CONTRAST BY AT LEAST 70% - REFER TO ADA GUIDELINES FOR DEFINITION OF "CONTRAST".
 5. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. DETECTABLE WARNINGS USED ON INTERIOR SURFACES SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CANE CONTACT.



STANDARD DETAIL
PAVEMENT MARKINGS LINE TYPES
 DATE: DECEMBER, 2011
 DRAWN BY: JSR
 CHECKED BY: BDR, P.E.
 SCALE: NOT TO SCALE
 CITY OF WILMINGTON NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807
 SD 11-01



STANDARD DETAIL
ACCESSIBLE PARKING SIGNS AND INSTALLATION DETAILS
 SHEET A2 OF 5
 DATE: NOVEMBER 8, 2016
 DRAWN BY: DALE THOMPSON
 CHECKED BY: RANDALL GLEASER
 SCALE: NOT TO SCALE
 CITY OF WILMINGTON NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807
 SD 3-09



- CITY OF WILMINGTON STANDARD NOTES:**
1. CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING AT 1-800-632-4949.
 2. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 3. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
 4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 5. INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
 6. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 7. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
 8. IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. POSTED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
 9. CONTACT 811 PRIOR TO CONTACTING CITY OF WILMINGTON TRAFFIC ENGINEERING REGARDING THE UTILITIES IN THE RIGHT-OF-WAY.
 10. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-8899 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 11. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS, AND CURBING WILL BE REPLACED.
 12. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
 13. PROJECT SHALL COMPLY WITH CFWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
 14. IF THE CONTRACTOR DESIRES CPWA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
 15. ANY IRRIGATION SYSTEM SUPPLIED BY CPWA WATER SHALL COMPLY WITH CFWA CROSS CONNECTION CONTROL REGULATIONS. CALL 332-6558 FOR INFORMATION.
 16. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USOF/COHR OR ASSE.
 17. WHEN PVC WATER MAINS AND/OR POLYETHYLENE SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED SINGLE STRAND COPPER WIRE INSTALLED THE ENTIRE LENGTH AND SECURED TO ALL VALVES. THIS WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
 18. THE NUMBER AND SPACING OF DRIVEWAYS FOR ALL INTERCONNECTED SITES WILL BE DETERMINED BY THE COMBINED FRONTAGE OF THE INTERCONNECTED PROPERTIES.
 19. UNDERGROUND FIRE LINE MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC ROW TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
 20. A LANDSCAPE PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEER DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.
 21. IF AN IRRIGATION SYSTEM IS PLANNED FOR THE SITE, UTILIZE MOISTURE SENSORS.
 22. ALL PROPOSED VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
 23. PLEASE CONSIDER INCORPORATING XERIC LANDSCAPING FOR ALL NEW LANDSCAPING.
 24. THE CONTRACTOR WILL MAINTAIN ALL-WEATHER EMERGENCY ACCESS TO CONSTRUCTION SITE AT ALL TIMES.
 25. UNDERGROUND UTILITIES: ALL ELECTRIC, CABLE TELEVISION AND TELEPHONE FACILITIES, FIRE ALARM CONDUITS, STREET LIGHTING WIRING AND OTHER WIRING CONDUITS, AND SIMILAR FACILITIES SHALL BE PLACED UNDERGROUND BY THE DEVELOPER OR THE APPROPRIATE UTILITY COMPANY.
 26. STREET TREES MUST BE LOCATED A MINIMUM OF 15' FROM STREET LIGHTS.

FOR PERMIT ONLY
NOT FOR CONSTRUCTION

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan

Name	Date

Planning _____
 Traffic _____
 Fire _____

NCDENR PWSS WATER PERMIT # _____
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT # _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

NOTES AND DETAILS
HEALTH DEPARTMENT PARKING LOT
 2029 S. 17TH STREET
 WILMINGTON, N. C.

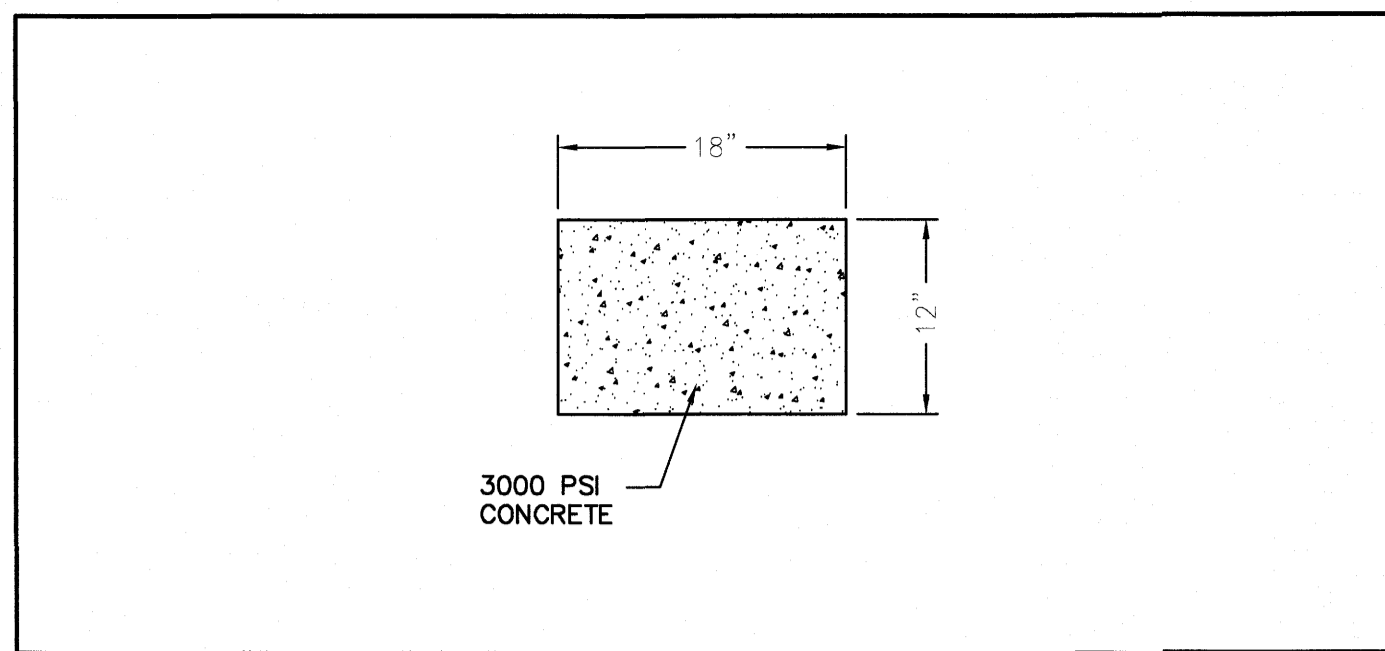
OWNER/DEVELOPER
 NHRMC
 P.O. BOX 9000
 WILMINGTON, NC 28402
 910 343-2788

NORRIS & TUNSTALL
 CONSULTING ENGINEERS P.C.
 2602 IRON GATE DR., SUITE 102
 WILMINGTON, NC 28403
 PHONE (910) 343-9653

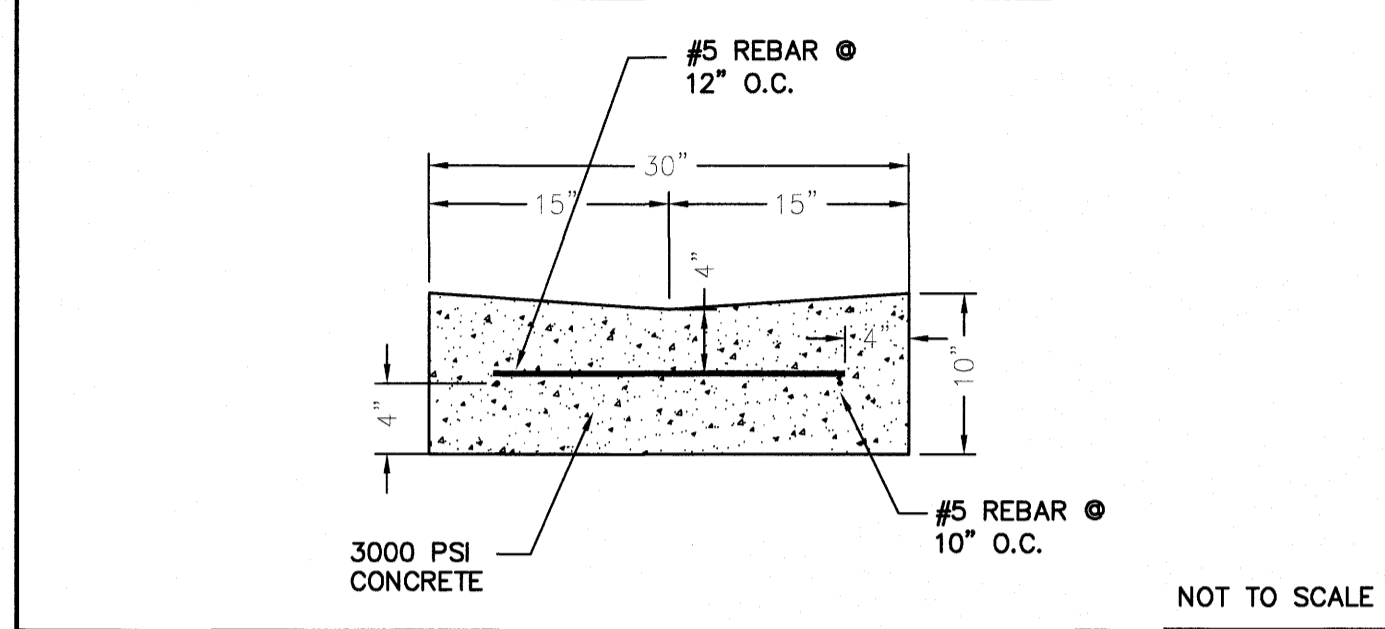
1429 ASH-LITTLE RIVER RD. NW
 ASH, NC 28620
 PHONE (910) 287-5900

License #C-3641
19091
 DES. JST
 OKD. JPN
 DRWN. NKS
 DATE 03/18/20

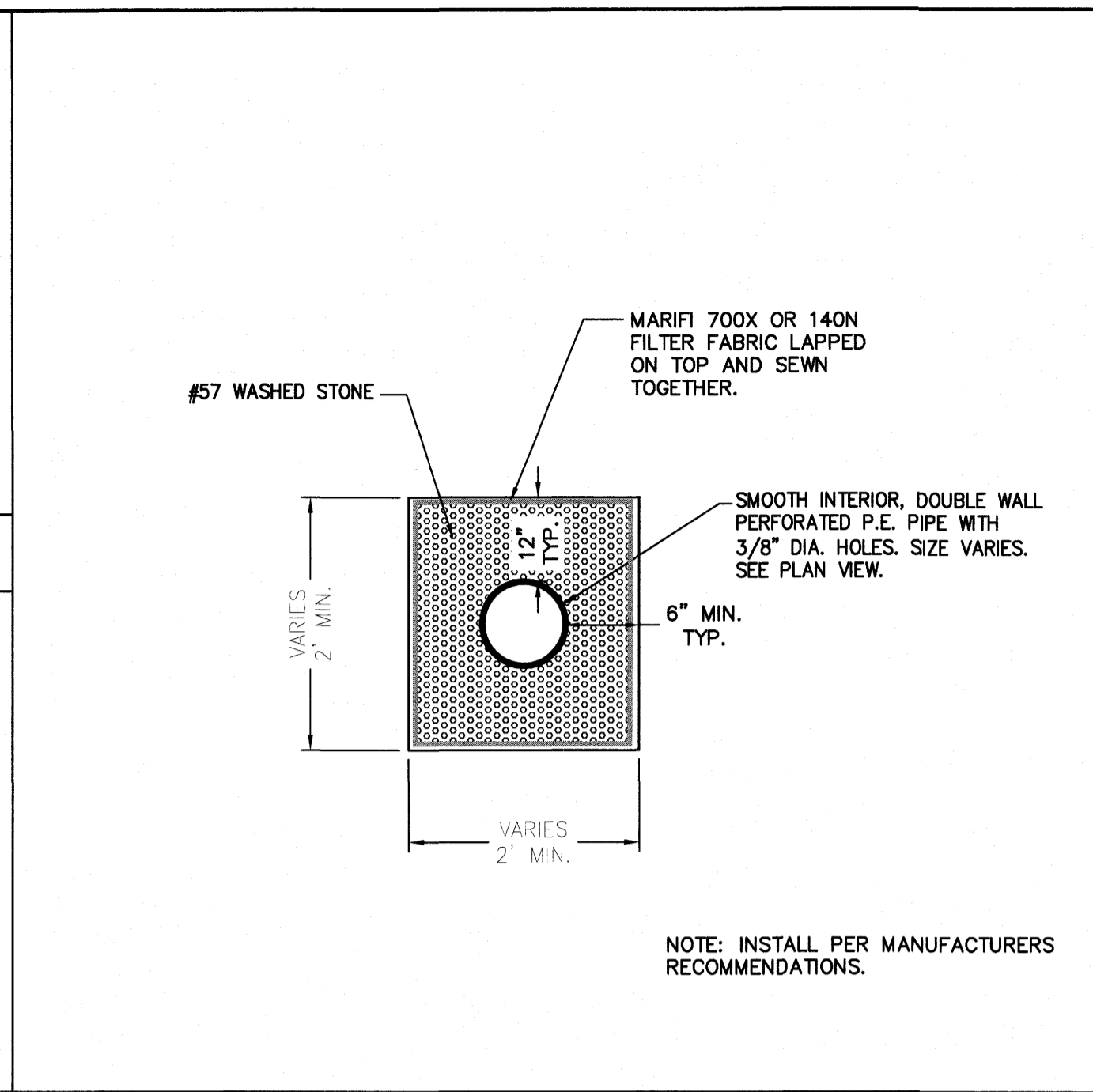
C5



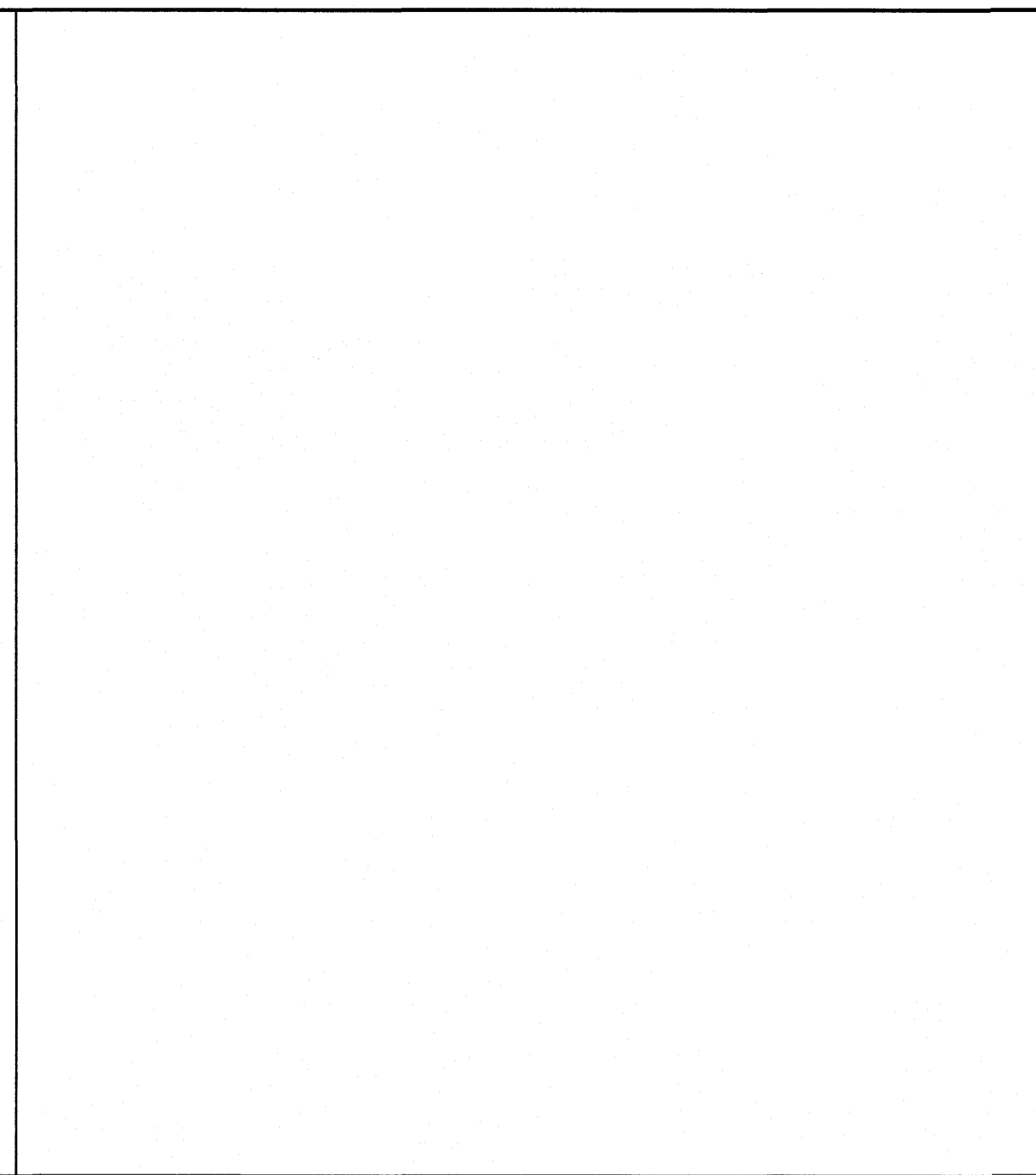
1 18" HEADER CURB DETAIL



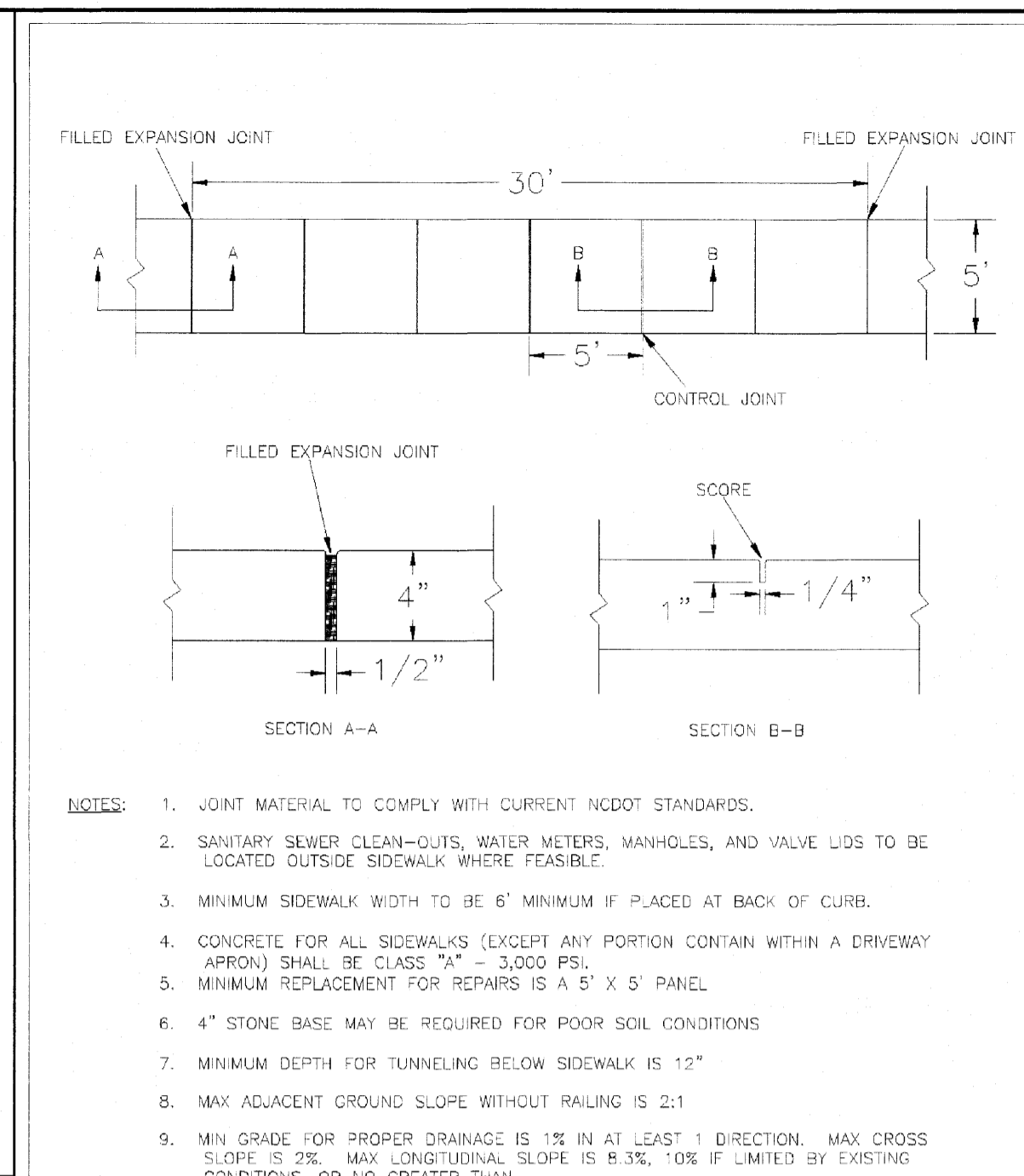
1a REINFORCED VALLEY GUTTER DETAIL



2 PERFORATED PIPE TRENCH DETAIL



3



PERMEABLE PAVEMENT CONSTRUCTION SEQUENCE:

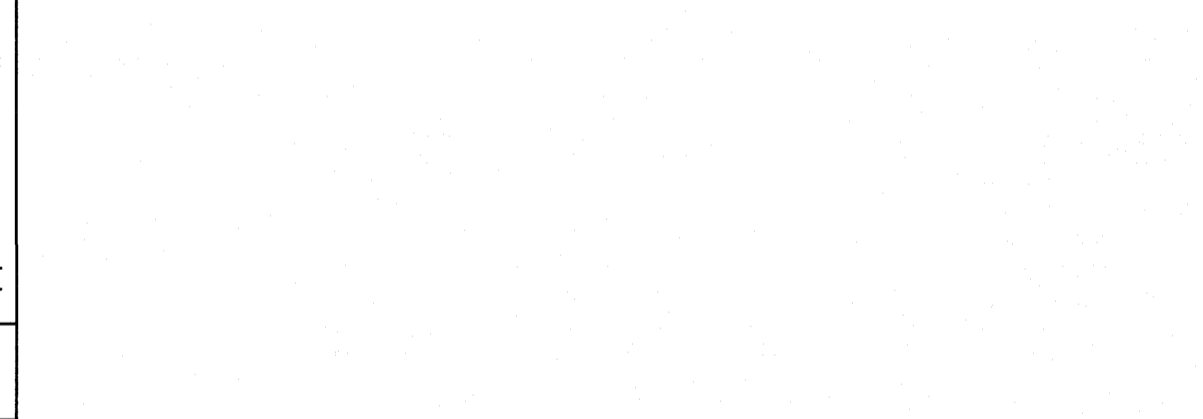
STANDARD DETAIL
SIDEWALK
 DATE: OCTOBER 2010
 DRAWN: PBR/RR
 CHECKED: DEC
 SCALE: NOT TO SCALE
 CITY OF WILMINGTON
 WILMINGTON, N.C. 28402
 (910) 341-7807
 SD 3-10

PERMEABLE PAVEMENT

ACTIVITIES PROHIBITED:
 SANDING
 RE-SEALING
 RE-SURFACING
 POWER WASHING
 STORAGE OF MULCH OR SOIL
 STORAGE OF SNOW PILES
 APPLICATION OF SALT OR DEICERS

NOTES:
 1. THE PERMEABLE PAVEMENT SIGN IS BASED ON AN 18" X 24" STANDARD SIZE FOR SIGN PRODUCTION.
 2. A HIGH-RESOLUTION IMAGE FILE CAN BE PROVIDED BY THE DWO FOR USE IN FABRICATING THE SIGN. THE GRAPHIC IS IN COLOR BUT COLOR SIGNS ARE NOT REQUIRED.

PERMEABLE PAVEMENT SIGNAGE DETAIL



PERVIOUS PAVEMENT OBSERVATION WELL NOTES:

- IF THE SUBGRADE IS NOT TERRACED, THEN THE OBSERVATION WELL SHALL BE PLACED AT THE LOW END OF THE SUBGRADE SLOPE. IF THE SUBGRADE IS TERRACED, THEN ONE OBSERVATION WELL SHALL BE BURIED INTO THE LOW END OF EACH TERRACE.
- OBSERVATION WELLS SHALL BE FITTED WITH A LOCKABLE CAP INSTALLED PLACED EVEN WITH THE PAVEMENT SURFACE TO FACILITATE QUARTERLY INSPECTION AND MAINTENANCE.
- THE OBSERVATION WELL SHALL CONSIST OF A RIGID 4 TO 6 IN. DIAMETER PERFORATED PVC PIPE.

PERVIOUS PAVEMENT OBSERVATION WELL DETAIL
 FOR PERMIT ONLY
 NOT FOR CONSTRUCTION

City of Wilmington
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____
 Signed: _____

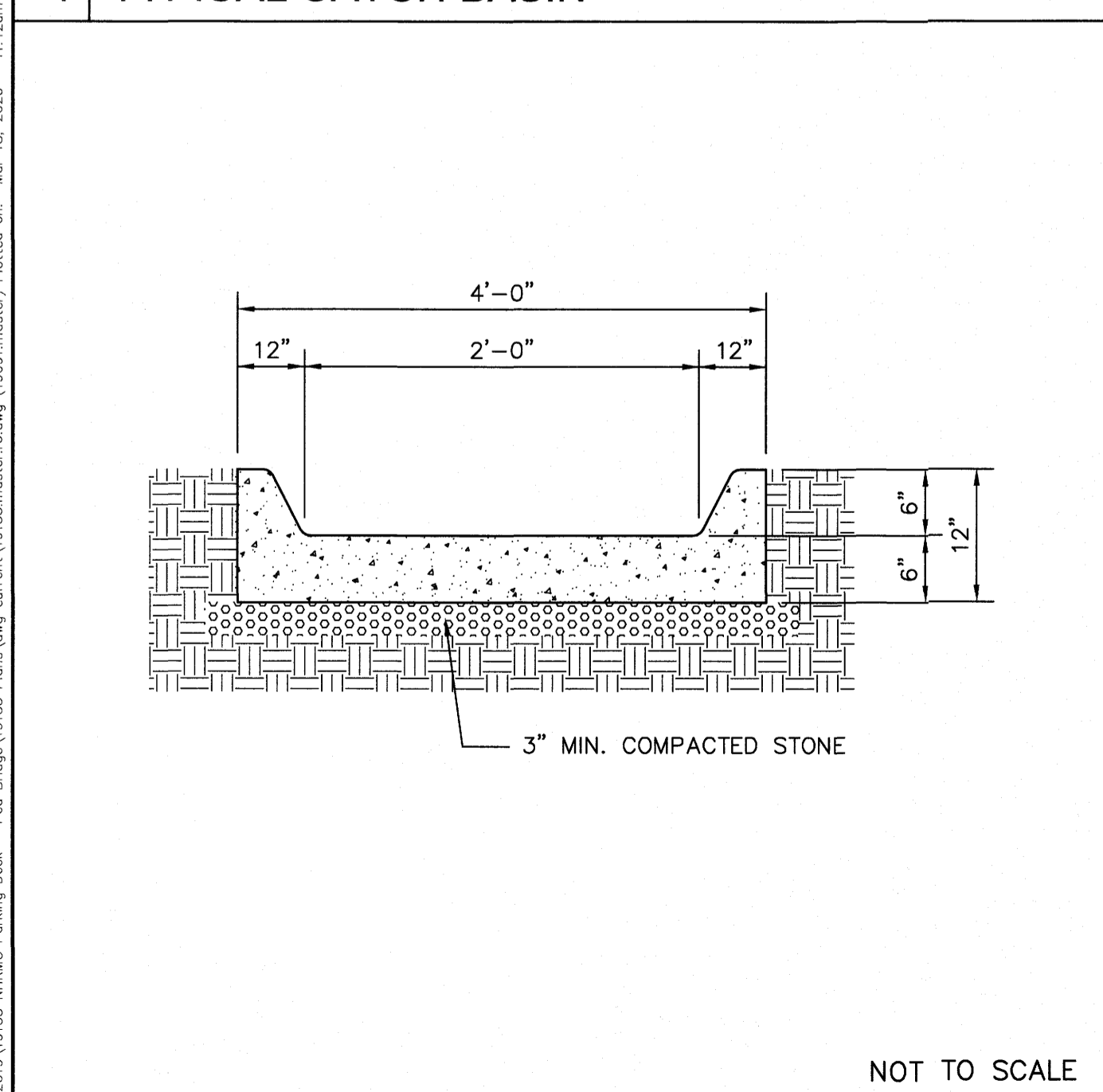
Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

SITE WORK NOTES:

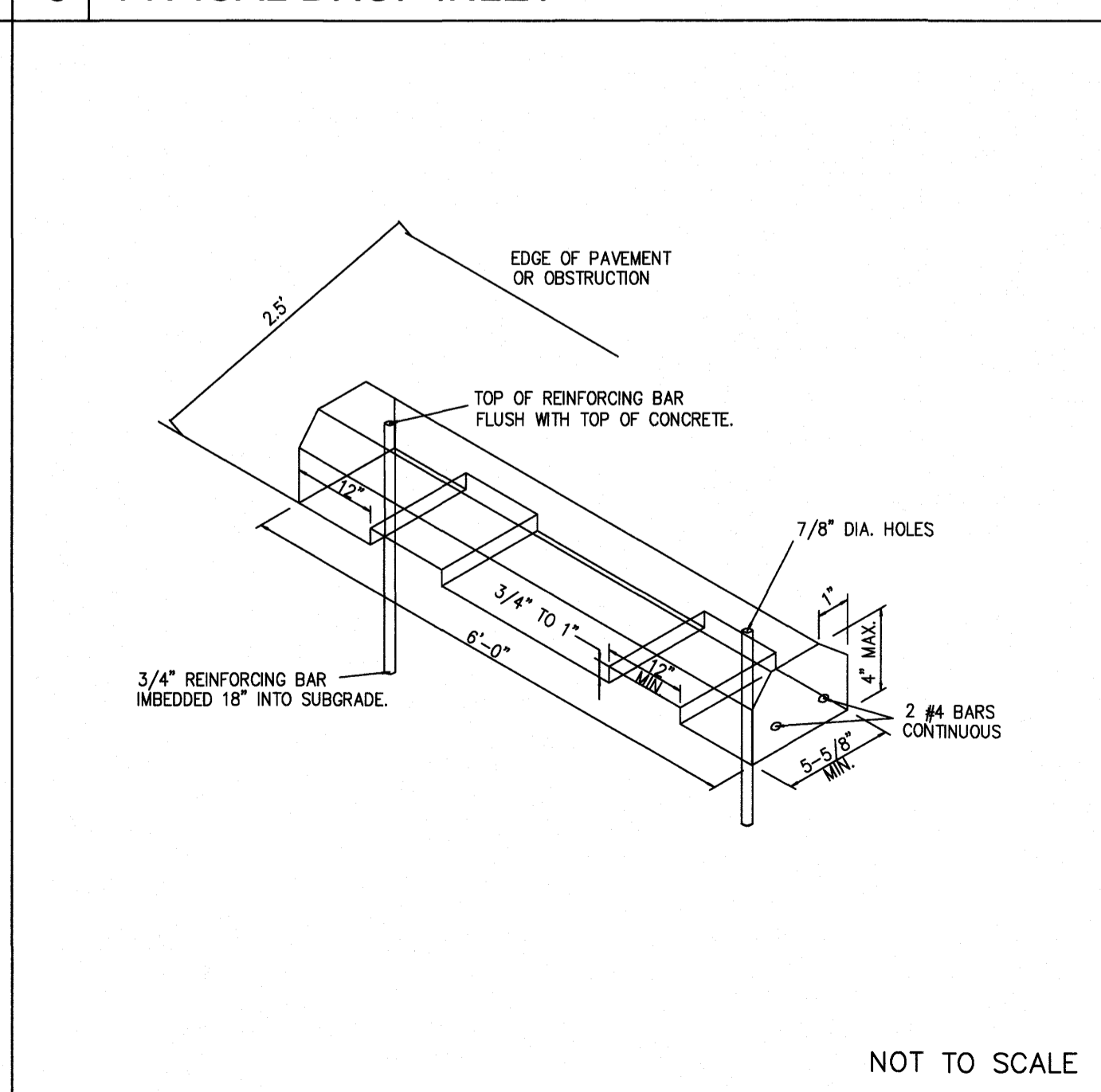
- THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH FIELD CONSTRUCTION CONDITIONS.
- CONTRACTOR SHALL COORDINATE WORK WITHIN NCDOT AND LOCAL RIGHT OF WAYS WITH PROPER AUTHORITIES AND SHALL MEET ANY REQUIREMENTS AS TO TRAFFIC CONTROL AND CONNECTION TO EXISTING STREETS.
- CLEARING AND GRUBBING: REMOVE ALL TREES AS REQUIRED UNLESS OTHERWISE NOTED TO REMAIN, STUMPS, ROOTS, SHRUBBERY, ASPHALT, CONCRETE, STRUCTURES, BURIED UTILITIES, STORAGE TANKS, ETC. WITHIN LIMITS OF CONSTRUCTION.
- STRIPPING: BEFORE EXCAVATING OR FILLING, REMOVE ALL TOPSOIL, WOOD, LEAVES, AND ANY OTHER UNSUITABLE MATERIAL.
- MUCKING: REMOVE ANY SOFT, ORGANIC SILT MATERIALS AND EXISTING BURIED CONSTRUCTION DEBRIS AS REQUIRED AND FILL TO SUBGRADE ELEVATIONS WITH A CLEAN SELECT-FILL COMPACTED AS SPECIFIED.
- DISPOSAL: CLEARED, GRUBBED, STRIPPED OR EXCAVATED SPOIL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES.
- BORROW MATERIAL: THE CONTRACTOR SHALL FURNISH BORROW MATERIAL REQUIRED FROM OFF SITE AND OBTAIN ALL REQUIRED PERMITS ASSOCIATED WITH BORROW OPERATIONS.
- FILL AND COMPACTION: AFTER STRIPPING THOSE AREAS DESIGNATED TO RECEIVE FILL SHOULD BE PROFFROLLED. THE TOP 8" OF SUBGRADE SHALL BE COMPACTED TO AT LEAST 98% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT. ANY AREA WHICH PUMPS OR RUTS EXCESSIVELY SHOULD BE UNDERCUT AND REPLACED WITH A CLEAN, SILTY OR CLAYEY SAND HAVING A UNIFIED SOIL CLASSIFICATION OF SP, SM, OR SC. FILL MATERIAL 5" OUTSIDE OF BUILDING AREAS SHALL THEN BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) WITH THE UPPER 12 INCHES OF SUBGRADE BEING COMPACTED TO 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. FILL MATERIALS WITHIN BUILDING AREAS TO A LINE OUTSIDE THE BUILDING AREAS SHALL BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) WITH THE UPPER 12 INCHES OF SUBGRADE BEING COMPACTED TO 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. IN AREAS WHERE NO STRUCTURAL FILL IS TO BE PLACED IN THE UPPER 12 INCHES OF IN-PLACE SUBGRADE SHOULD BE COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. IF THE MATERIAL IS TOO DRY TO COMPACT TO THE REQUIRED DENSITY EACH LAYER SHALL BE WETTED IN ACCORDANCE WITH COMPACTION REQUIREMENTS. IF THE MATERIAL IS TOO WET TO SECURE PROPER COMPACTION, IT SHALL BE HARROWED REPEATEDLY OR OTHERWISE AERATED WITH SUITABLE EQUIPMENT UNTIL OPTIMUM MOISTURE CONTENT IS OBTAINED. FILL SHALL BE PLACED IN SUCH A MANNER THAT THE SURFACE WILL DRAIN READILY AT ALL TIMES. SEE STRUCTURAL NOTES AND SOILS REPORT FOR ADDITIONAL REQUIREMENTS.
- LAYOUT: THE CONTRACTOR SHALL PROVIDE ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION.
- EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION FROM SURVEY BY BATEMAN CIVIL SURVEY COMPANY AND PROVIDED BY OWNER.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS AT JOBSITE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF RELOCATION OR DISCONNECTION OF ALL EXISTING UTILITIES WITH APPLICABLE AGENCIES AND AUTHORITIES.
- ALL PAVEMENT AND BASE MATERIALS AND WORKMANSHIP SHALL CONFORM TO NCDOT STANDARDS.
- WATER AND SEWER SERVICES SHALL BE INSTALLED TO MEET LOCAL AND STATE PLUMBING CODES. METER AND TAPS SHALL MEET ALL LOCAL REQUIREMENTS.
- ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE.
- SEE SOILS REPORT FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR SHALL NOTE THAT EARTHWORK QUANTITIES ARE HIS RESPONSIBILITY. PLANS DO NOT REPRESENT A BALANCED EARTHWORK CONDITION.
- REINFORCED CONCRETE PIPE SHALL BE CLASS III W/RUBBER GASKETED JOINT OR "RAM NECK". INSTALL PER MANUFACTURER'S REQUIREMENTS.
- USE WHITE LANE MARKING PAINT FOR ALL PAVEMENT MARKINGS. PAINT SHALL BE A CHLORINATED RUBBER ALKYLID, FS TT-P-115, TYPE III, FACTORY MIXED, QUICK DRYING, NON-BLEEDING.
- REFER TO THE PLUMBING DRAWINGS FOR LOCATION AND INVERTS OF NEW WASTE, WATER AND ROOF DRAIN LINES.

4 TYPICAL CATCH BASIN



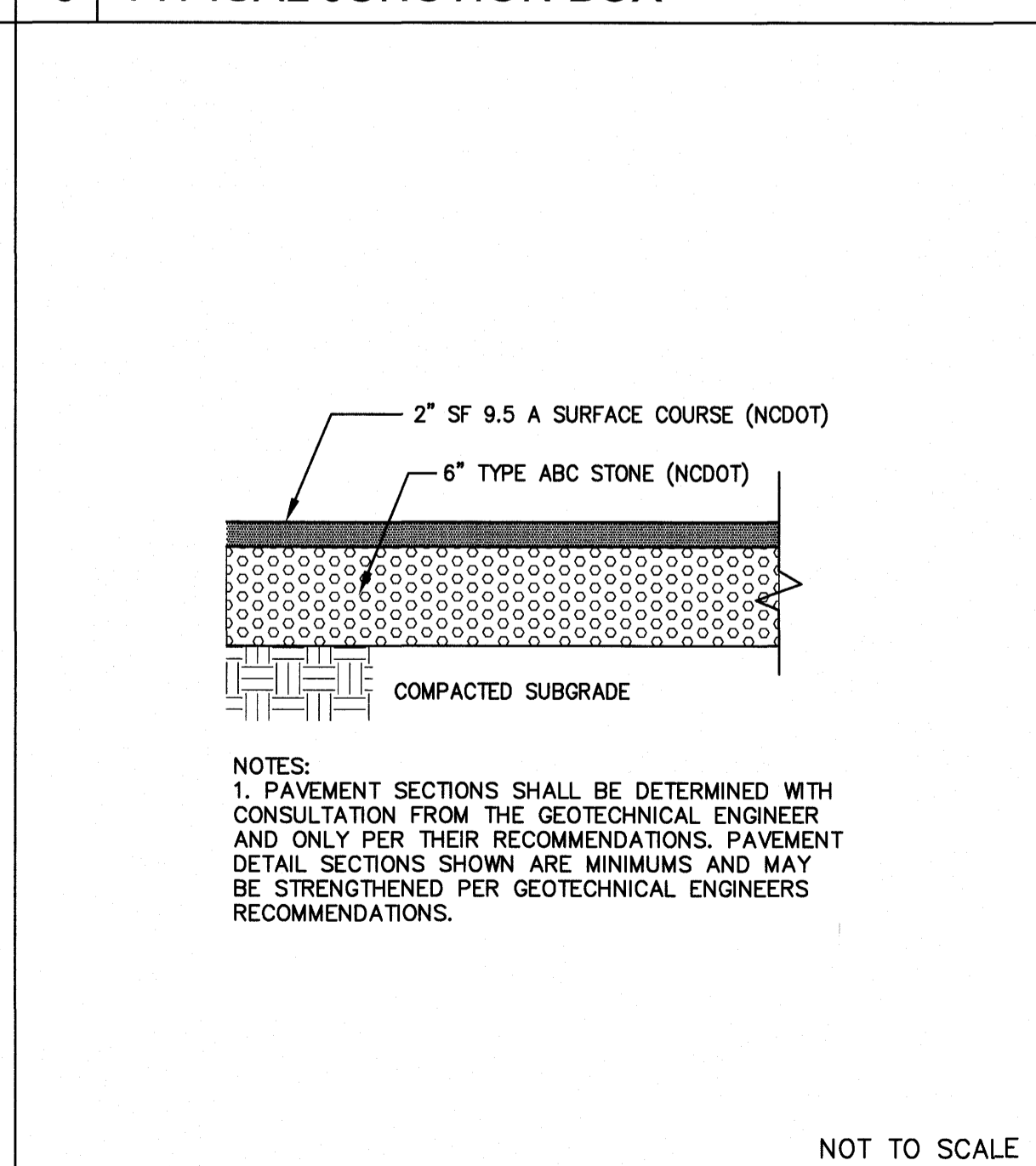
7 CONCRETE FLUME SECTION

5 TYPICAL DROP INLET



8 CONCRETE WHEEL STOPS

6 TYPICAL JUNCTION BOX



9 ASPHALT PAVEMENT SECTION

NOTES AND DETAILS
 HEALTH DEPARTMENT PARKING LOT
 2029 S. 17TH STREET
 WILMINGTON, N. C.

OWNER/DEVELOPER
 NHRMC
 P.O. BOX 9000
 WILMINGTON, NC 28402
 910 343-2788

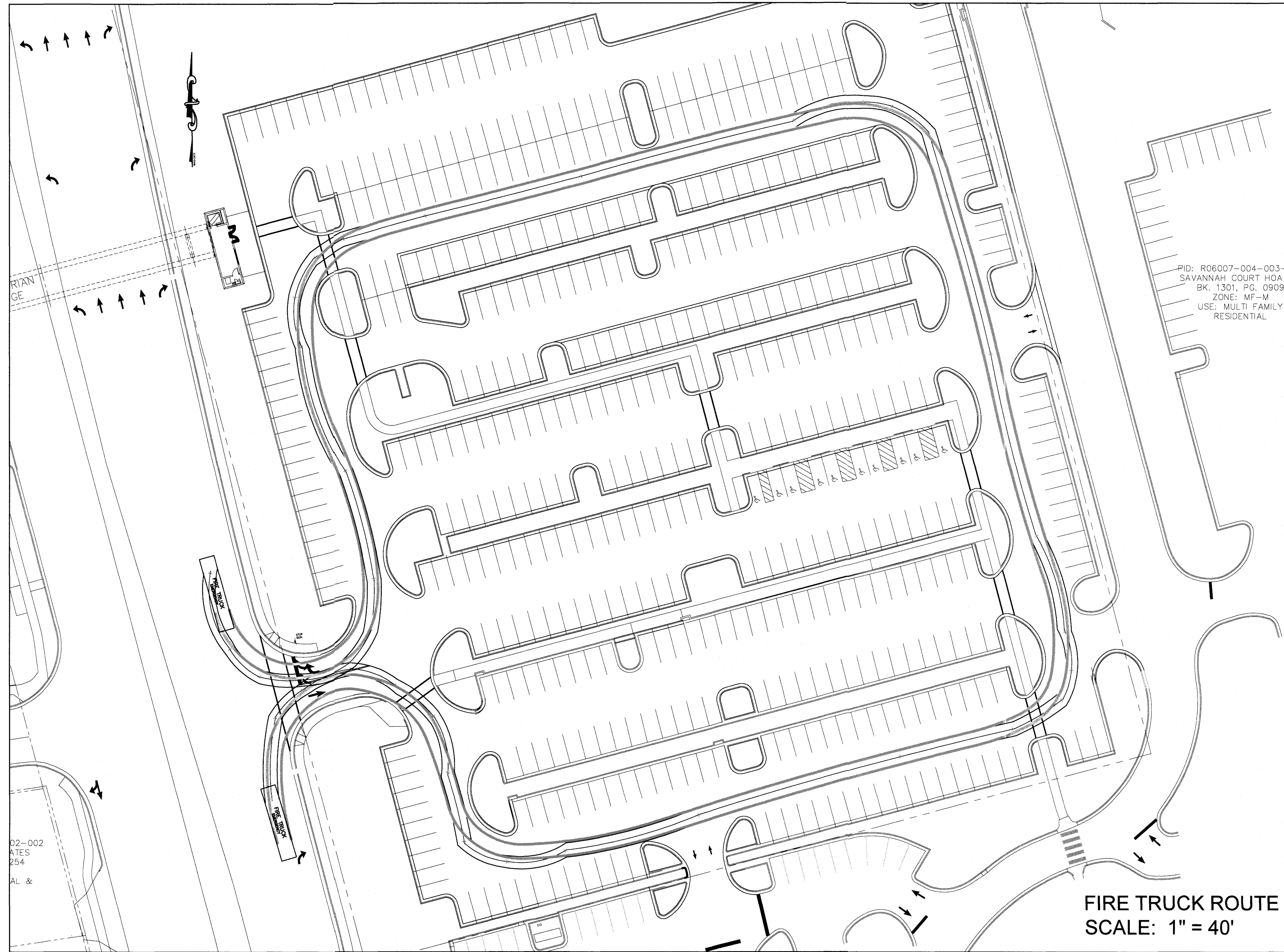
NORRIS & TUNSTALL
 CONSULTING ENGINEERS P.C.

2602 IRON GATE DR., SUITE 102
 WILMINGTON, NC 28403
 PHONE (910) 343-9653

Licence #C-3641
 19091
 DES. JST
 CKD. JPN
 DRWN. NKS

DATE 03/18/20
 APPROVED STORMWATER MANAGEMENT PLAN
 C5.1

C:\projects\2019\10130_NHRMC_Parking_Deck - Per Design\10130_NHRMC_Parking_Deck.dwg (1899) (modified) (Printed) (Date: Mar 18, 2020 - 11:20am) by: bbray



PID: R06007-004-003-00
 SAVANNAH COURT HOA IN
 BK: 1301, PG: 0909
 ZONE: MF-M
 USE: MULTI FAMILY
 RESIDENTIAL

02-002
 NOTES
 254
 AL &

SYMBOL	DATE	DESCRIPTION	BY
REVISIONS			
©2019 NORRIS & TUNSTALL			

**FIRE TRUCK ROUTE
 HEALTH DEPARTMENT PARKING LOT**
 2029 S. 17TH STREET
 WILMINGTON, N. C.

OWNER/DEVELOPER
 NHRMC
 P.O. BOX 9000
 WILMINGTON, NC 28402
 910 343-2788

NORRIS & TUNSTALL
 CONSULTING ENGINEERS P.C.
 2602 IRON GATE DR., SUITE 102 1429 ASH-LITTLE RIVER RD, NW
 WILMINGTON, NC 28403 ASH, NC 28420
 PHONE (910) 343-9653 PHONE (910) 287-5900

Licence #C-3641
19091
 DES. JST
 CKD. JPN
 DRWN. NKS
 DATE 03/18/20

FOR PERMIT ONLY
 NOT FOR CONSTRUCTION

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

C5.4

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NCDENR PWSS WATER PERMIT #: _____
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

Approved Construction Plan

Name _____ Date _____

Planning _____

Public Utilities _____

Traffic _____

Fire _____

CITY OF WILMINGTON
NORTH CAROLINA

Public Services Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit #: _____

Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

*NOTE: PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING

SITE DATA

ADDRESS: 2131 S. 17TH STREET
 PARCEL ID: R06011-004-013-000
 PROPOSED USE: NHRMC SURFACE EMPLOYEE PARKING
 EXISTING ZONING: O&I-1 - OFFICE AND INSTITUTIONAL
 PARCEL AREA: 5.56 AC (242,375 SF)
 DISTURBED AREA: 183,823 SF (4.22 AC)
 CAMA LAND USE: URBAN

LANDSCAPE REQUIREMENTS

	REQUIRED	PROVIDED
PARKING LOT CANOPY COVERAGE (160,892 SF X 30%) (1 SHADE TREE = 707 SF)	48,208 SF, 68 TREES	48,621 SF, 81 TREES
(1 SM. SHADE TREE = 314 SF)		27 EXISTING TREES CREDITS (19,089 SF)
STREET YARD PLANTING PRIMARY STREETYARD S. 17TH STREET	10,260 SF (570 LF x 18) 17 (1/600 SF)	10,260 SF 17 EXISTING TREES
SHRUBS REQUIRED	103 (6/600 SF)	92 PROPOSED SHRUBS 11 EXISTING AZALEAS
SECONDARY STREETYARD SAVANNAH COURT	4,140 SF (460 LF x 9) 7 (1/600 SF)	4,140 SF 7 EXISTING TREES
SHRUBS REQUIRED	42 (6/600 SF)	54 PROPOSED SHRUBS
FOUNDATION PLANTING 12% FACADE AREA		
WEST SIDE	174 SF (44 LF x 33' x .12)	857 SF

RETAINED TREES COUNTING TOWARD REQUIREMENTS:

QUANTITY	SIZE	COMMON NAME
1	10"	HOLLY
2	12"	HOLLY
1	14"	HOLLY
1	15"	HOLLY
1	20"	CEDAR
1	7"	MAPLE
1	8"	MAPLE
2	12"	MAPLE
1	27"	MAPLE
1	8"	TRIPLE OAK
1	10"	OAK
4	10"	OAK
5	11"	OAK
2	12"	OAK
4	13"	OAK
5	14"	OAK
6	15"	OAK
1	17"	OAK
1	18"	OAK
1	20"	OAK
3	29"	OAK
1	12"	MAGNOLIA
1	12"	PINE
3	13"	PINE
1	14"	PINE
2	15"	PINE
3	16"	PINE
2	17"	PINE
2	17"	PINE
1	18"	PINE
4	19"	PINE
1	20"	PINE
1	21"	PINE
2	23"	PINE
1	24"	PINE

TOTAL: 1,036' / 6 = 173 TREE CREDITS

TREE MITIGATION REQUIREMENTS

REMOVED SIGNIFICANT TREES TO BE MITIGATED

QUANTITY	SIZE	COMMON NAME	% MITIGATION
1	28"	HARDWOOD	100

(28" x 2) / 3 = 17 TOTAL TREES

REMOVED REGULATED TREES TO BE MITIGATED

QUANTITY	SIZE	COMMON NAME	% MITIGATION
1	5"	HOLLY	100
1	12"	HARDWOOD	100
1	17"	HARDWOOD	100

34 / 3 = 12 TOTAL TREES

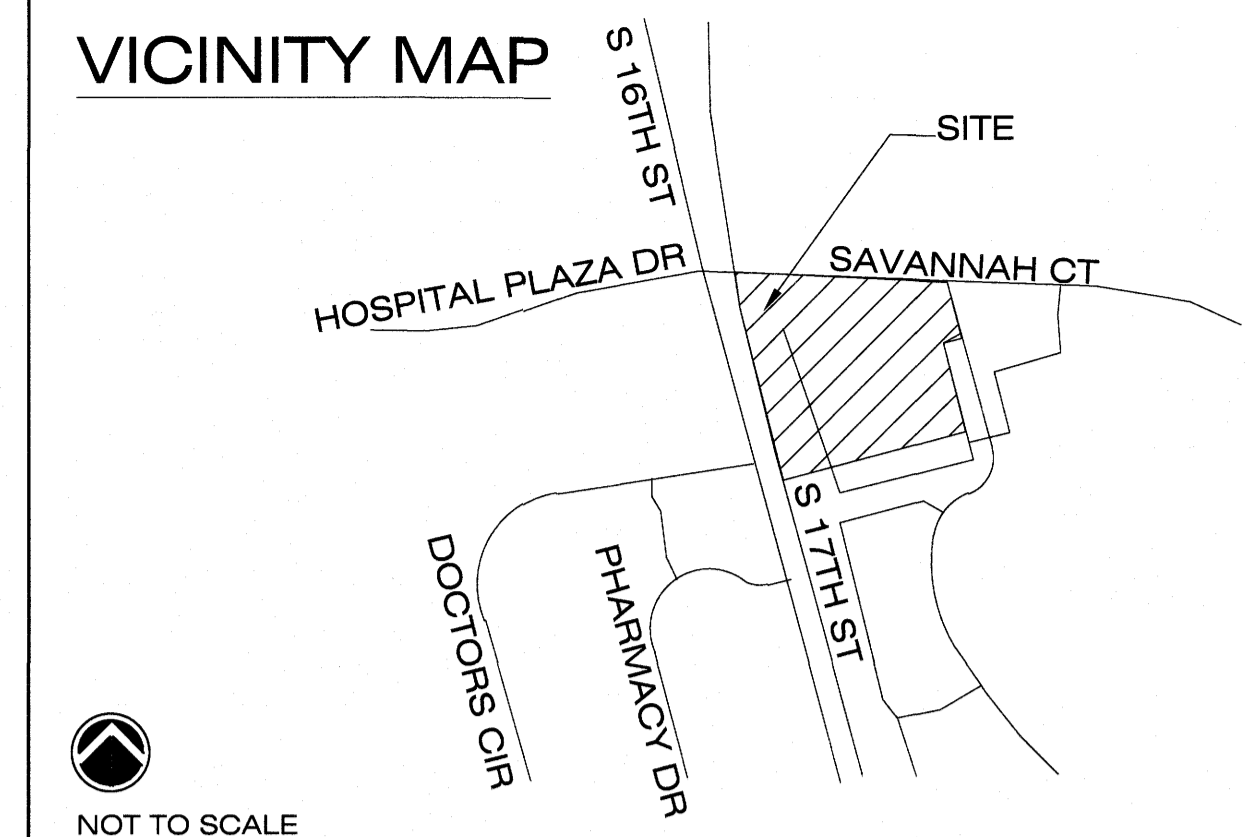
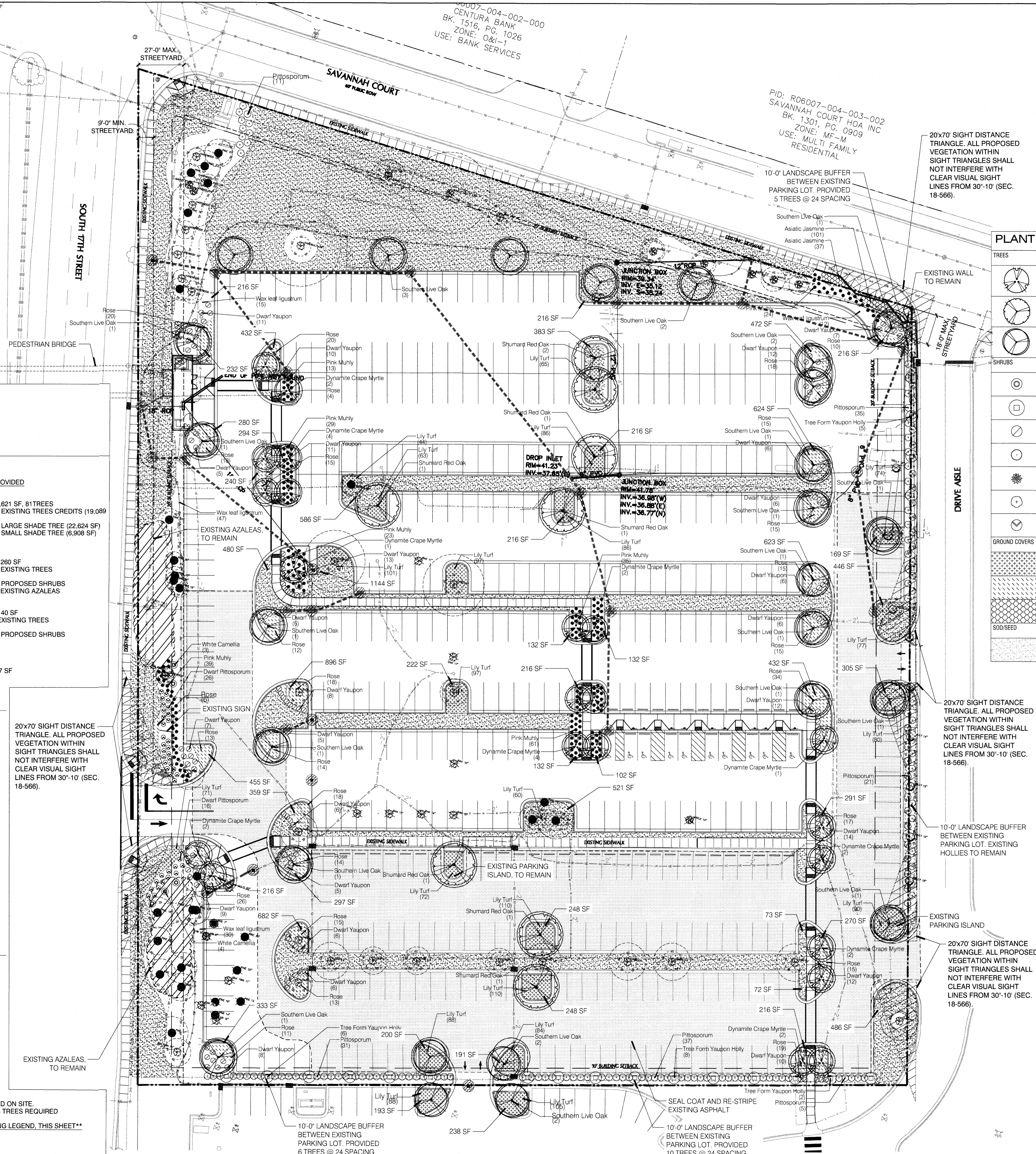
TOTAL TREES TO BE MITIGATED: 29 TREES
 TREE CREDITS TO SATISFY MITIGATE: 29 CREDITS

TREE REQUIREMENTS PER DISTURBED ACRE

15 TREES PER DISTURBED ACRE MUST BE RETAINED OR PLANTED ON SITE.

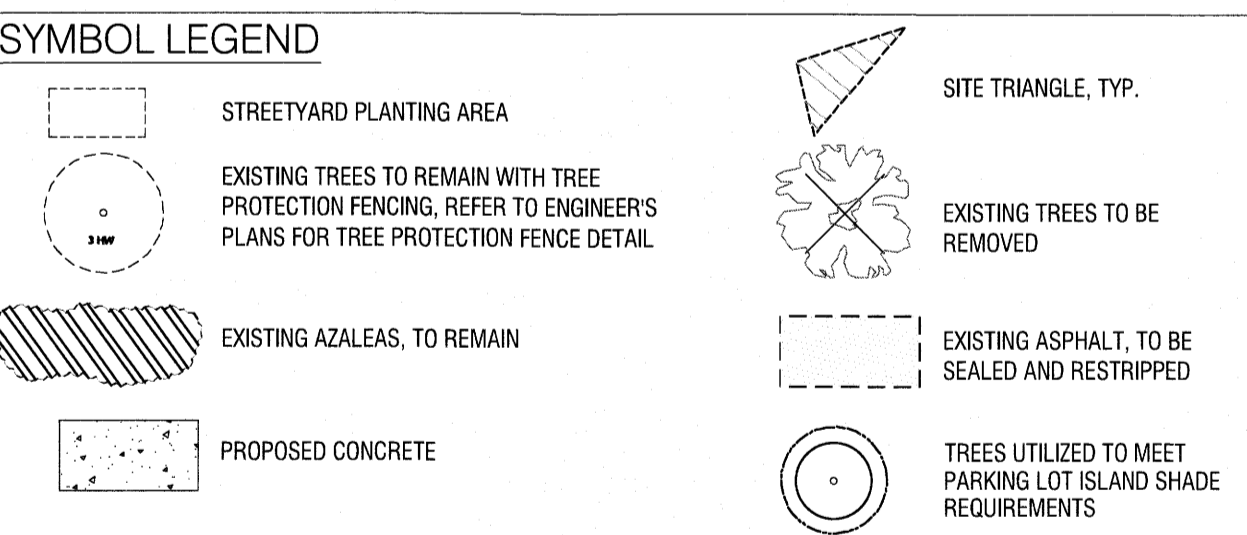
REQUIRED: 4.22 ACRES DISTURBED x 15 TREES = 63 TREES REQUIRED
 PROVIDED: 69 RETAINED TREES

TOTAL: 56 TREES PLANTED - REFER TO PLANTING LEGEND, THIS SHEET**
 125 TREES PROVIDED

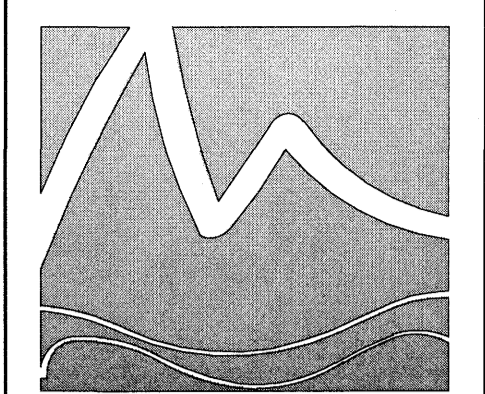
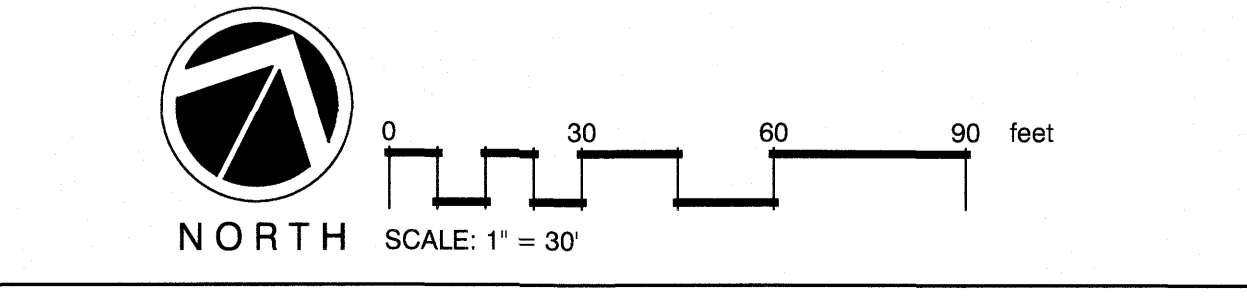


PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	RANGE	MIN. REQ. SIZE	QTY
	Lagerstroemia l. 'Dynamite' / Dynamite Crape Myrtle	8 & B	3" CAL		2-2.5' CAL	22
	Quercus shumardii / Shumard Red Oak	8 & B	3" CAL		2-2.5' CAL	8
	Quercus virginiana / Southern Live Oak	8 & B	3" CAL		2-2.5' CAL	26
SHRUBS	BOTANICAL / COMMON NAME	SIZE	RANGE	MIN. REQ. SIZE	QTY	
	Camelia s. 'Hara Jiman' / White Camellia	7 gal	24-36" HT	12" HT	7	
	Ilex vomitoria / Tree Form Yaupon Holly	B&B	7-8' HT		21	
	Ilex vomitoria 'Nana' / Dwarf Yaupon	3 gal	12-15" HT	12" HT	206	
	Ligustrum j. 'Recurvatum' / Wax leaf ligustrum	7 gal	36" HT	3' HT	104	
	Muhlenbergia capillaris / Pink Muhly	3 gal	15-18" HT	12" HT	224	
	Pittosporum tobira / Pittosporum	3 gal	18-24" HT	12" HT	140	
	Pittosporum tobira 'Wheeler's Dwarf' / Dwarf Pittosporum	3 gal	12-15" HT	12" HT	42	
GROUND COVERS	BOTANICAL / COMMON NAME	SIZE	RANGE	MIN. REQ. SIZE	SPACING	QTY
	Liriope muscari / Lily Turf	1 qt	6-12" HT		18" o.c.	1,748
	Rosa x 'Power Carpet Red' / Rose	3 GAL	12-18" HT		36" o.c.	410
	Trachelospermum a. 'Asatic' / Asiatic Jasmine	1 qt	6-12" HT		18" o.c.	138
SOD/SEED	BOTANICAL / COMMON NAME	SIZE	RANGE	MIN. REQ. SIZE	SPACING	QTY
	Cynodon dactylon / Bermuda Grass	sod				



- GENERAL PLANTING NOTES**
- THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, FINAL GRADING, SEEDING, SOIL AMENDMENTS, ETC., AS MAY BE REQUIRED FOR A COMPLETE INSTALLATION.
 - QUANTITIES SHOWN IN PLANT LISTS ARE FOR CONVENIENCE ONLY. PLANS SHALL GOVERN.
 - THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANT LOCATIONS OR INSUFFICIENT PLANT QUANTITIES DUE TO DIFFERENCES IN PLAN AND ACTUAL FIELD CONDITIONS.
 - ALL TREE AND SHRUB MATERIAL SPECIFICATIONS MUST MEET STANDARD INDUSTRY SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED. DOWNSIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT WILL NOT BE ALLOWED.
 - ALL LANDSCAPE AREAS SHALL BE GRADED TO A SMOOTH EVEN SURFACE PRIOR TO ANY PLANT INSTALLATION. ALL PLANT MATERIALS SHALL BE INSTALLED USING GOOD HORTICULTURAL PRACTICES IN ACCORDANCE WITH THE PLANS AND DETAILS.
 - TREES SHALL NOT BE PLANTED CLOSER THAN FOUR (4) FEET FROM ANY WALKWAY OR PUBLIC SIDEWALK EXCEPT WHERE TREE WELLS OR PARKWAYS ARE PROVIDED IN THE SIDEWALK AREA. ALL TREE PLANTED WITHIN FIVE (5) FEET OF WALKS OR PUBLIC UTILITIES SHALL RECEIVE DEEP ROOT BARRIERS.
 - TREE LOCATIONS SHOWN ON PLAN MAY REQUIRE ADJUSTMENT IN THE FIELD, WHENEVER FEASIBLE. TREES SHOULD BE PLANTED AT 8" ON-CENTER UNIFORM TRIANGULAR SPACING, AND SHALL BE CONTINUOUS UNDER ALL TREE AND SHRUB MASSES AS SHOWN ON PLAN.
 - MATURE PLANTINGS SHALL NOT INTERFERE WITH UTILITIES AND TRAFFIC SIGHT LINES.
 - ALL PLANTING AREAS SHALL BE MULCHED WITH PINESTRAW, EXCEPT FOR AREAS PLANTED WITH GROUNDCOVER. ALL AREAS PLANTED WITH GROUNDCOVER SHALL BE MULCHED WITH HARDWOOD MULCH.



MIHALY
LAND DESIGN

PLANNING + LANDSCAPE ARCHITECTURE
 330 MILITARY CUTOFF RD., SUITE A3
 WILMINGTON, NC 28405 910.392.4355

Revisions

2020-04-15: MOVE TREES AWAY FROM SD PIPES
 2020-05-01: REVISE PER COV COMMENTS

CLIENT

NHRMC
 P.O. BOX
 WILMINGTON, NC 28402
 (910) 343-2788

PROJECT

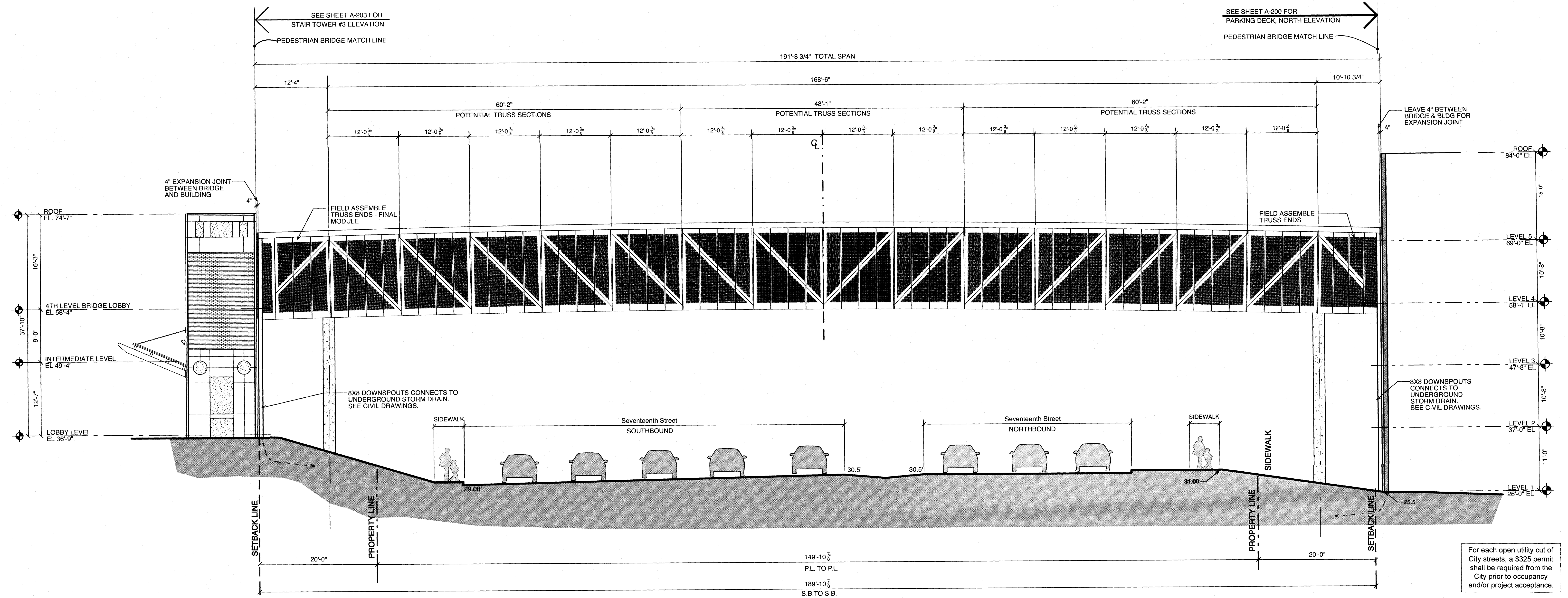
HEALTH DEP. PARKING LOT
 2029 SOUTH 17TH STREET
 WILMINGTON, NC
 LANDSCAPE PLANS

CONSTRUCTION SET

Date: 03/12/2020
 Phase:
 Job Number: 680-18
 Designed by: MLD
 Drawn by: MAS
 Checked by: JWM

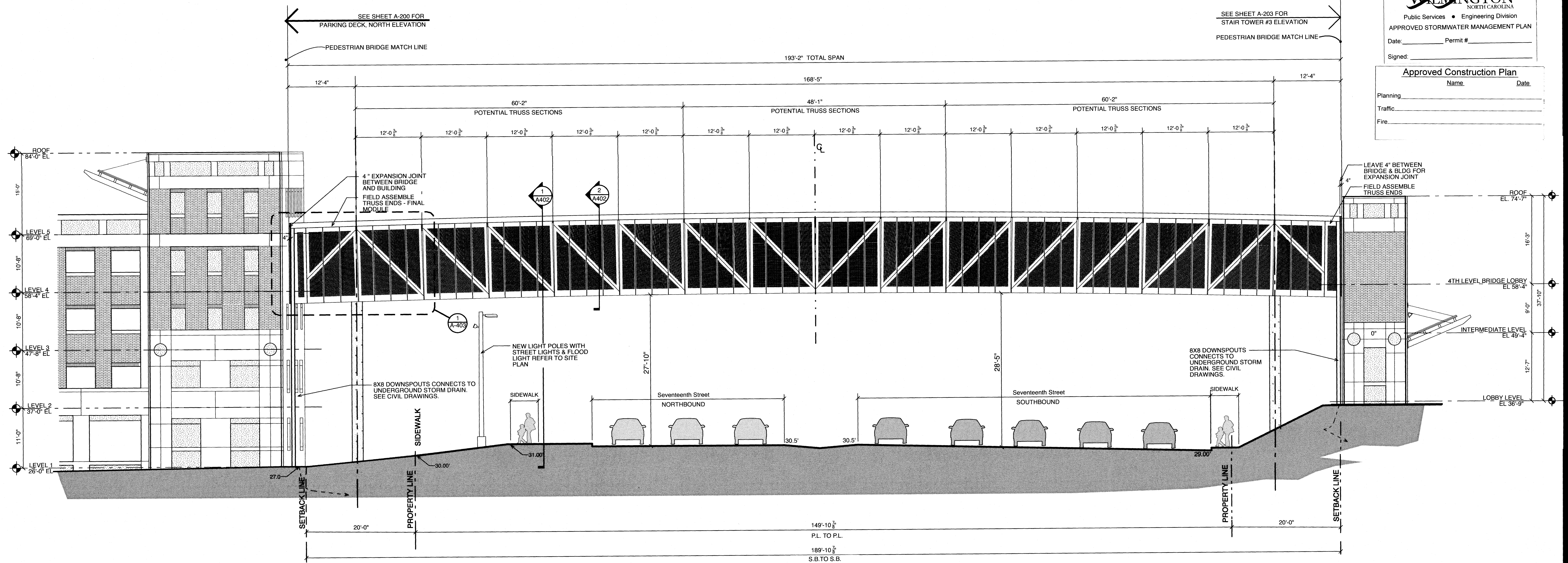
Sheet Title:
PLANTING PLAN

Sheet Number:
L1.0
 of 1 sheets



2 SOUTH BRIDGE ELEVATION
 A-204 Scale: 1/8" = 1'-0"

City of WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____
Approved Construction Plan
 Name: _____ Date: _____
 Planning: _____
 Traffic: _____
 Fire: _____



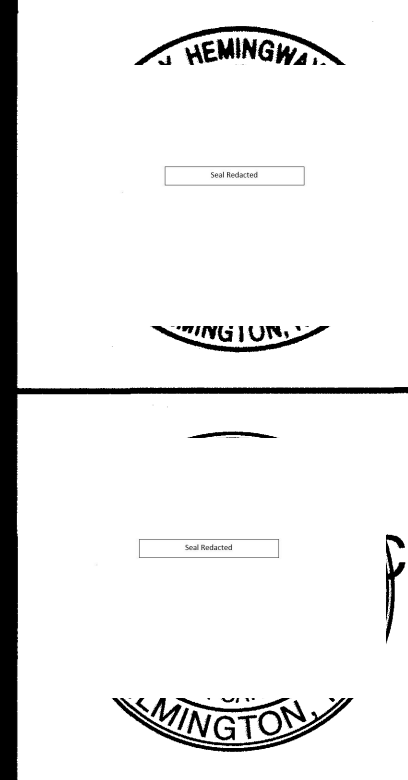
1 NORTH BRIDGE ELEVATION
 A-204 Scale: 1/8" = 1'-0"

New Hanover Regional Medical Center
Five Level Parking Structure
 Wilmington, North Carolina 28403

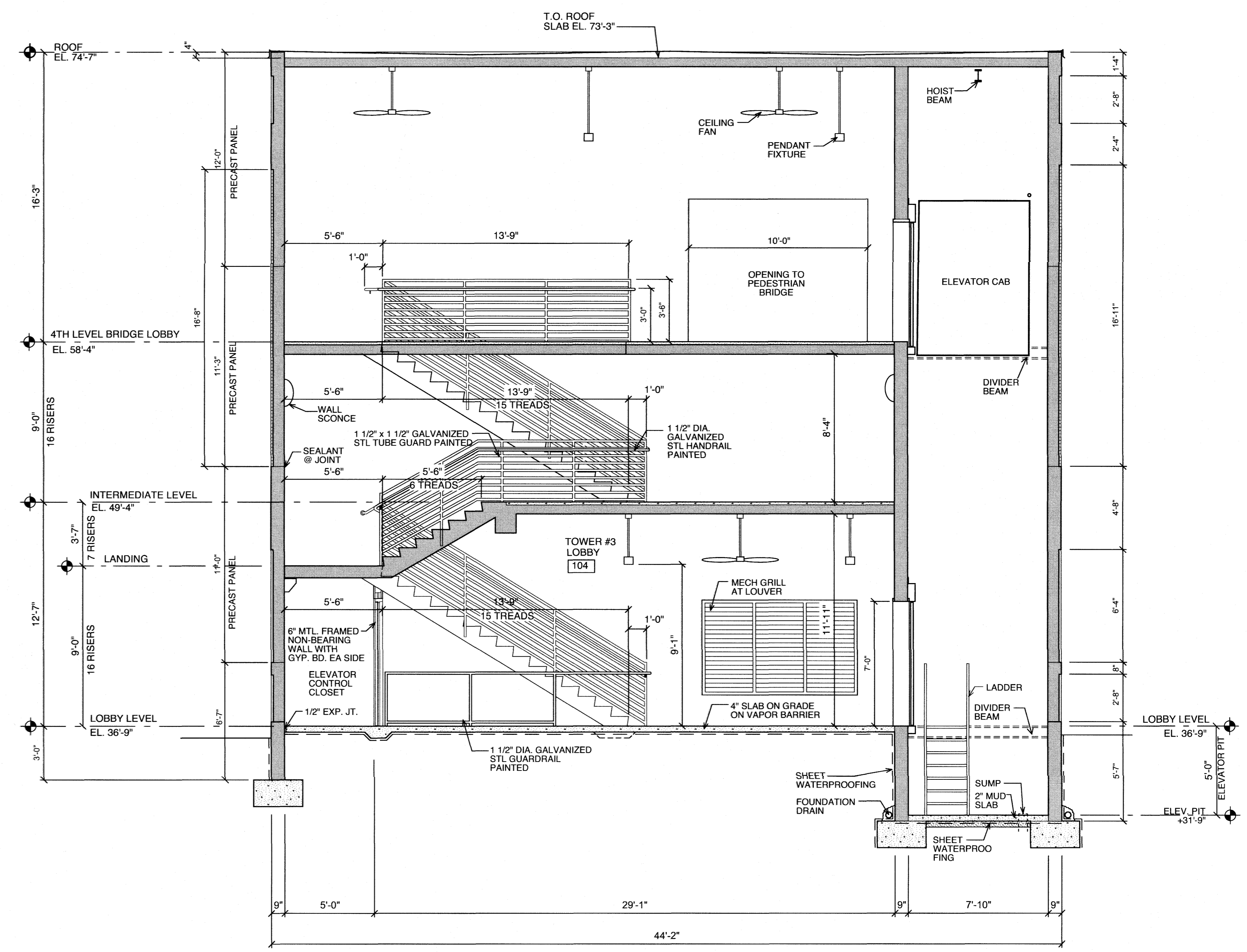
PEDESTRIAN BRIDGE ELEVATION, NORTH & SOUTH

JOB NUMBER
 DRAWN BY
 CHECKED BY
 DATE
 REVISIONS

SHEET NUMBER



New Hanover Regional Medical Center
Five Level Parking Structure
 Wilmington, North Carolina 28401

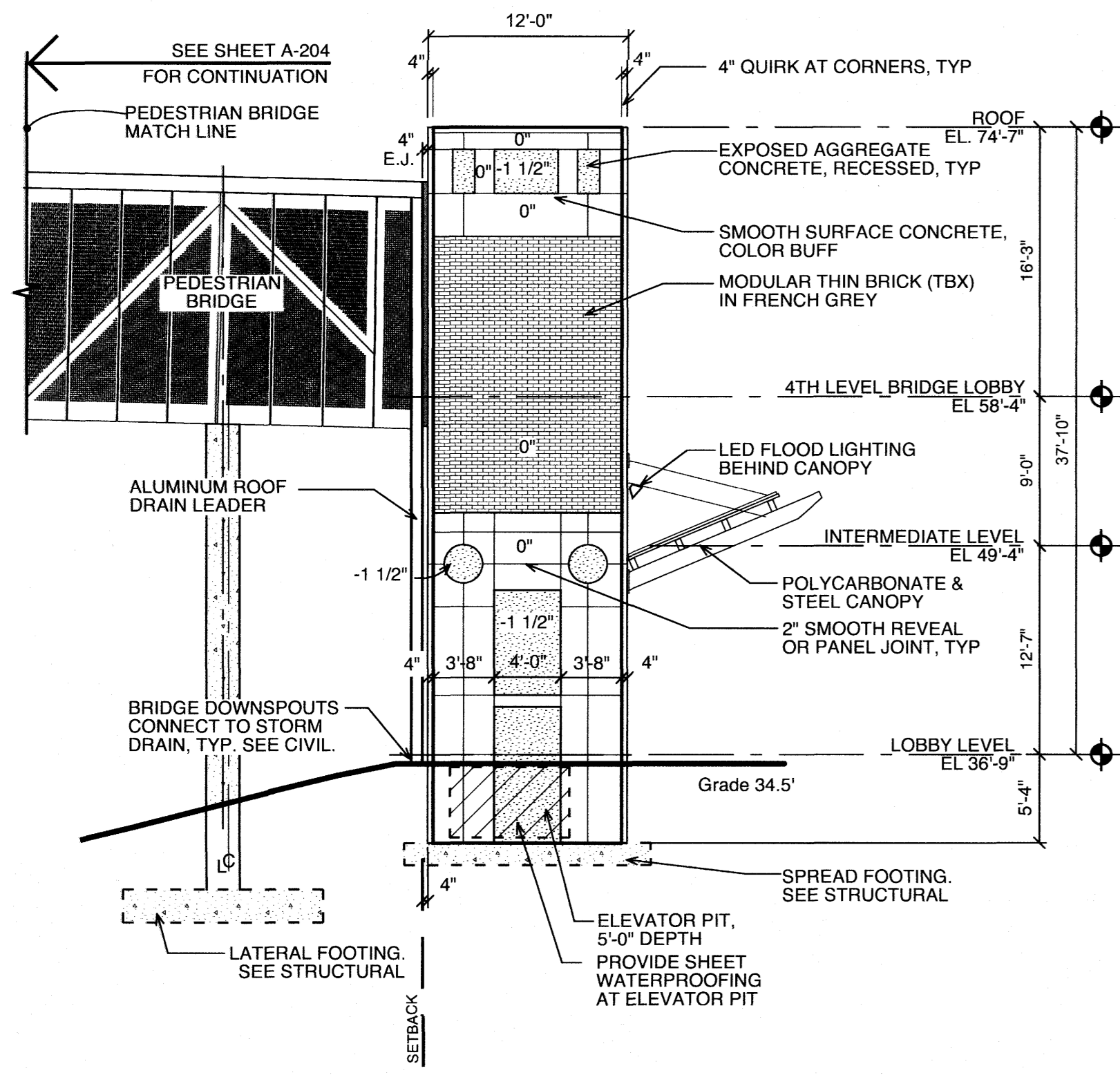


5 Building Section @ Stair Tower #3
 A-203 scale: 1/4" = 1'-0"

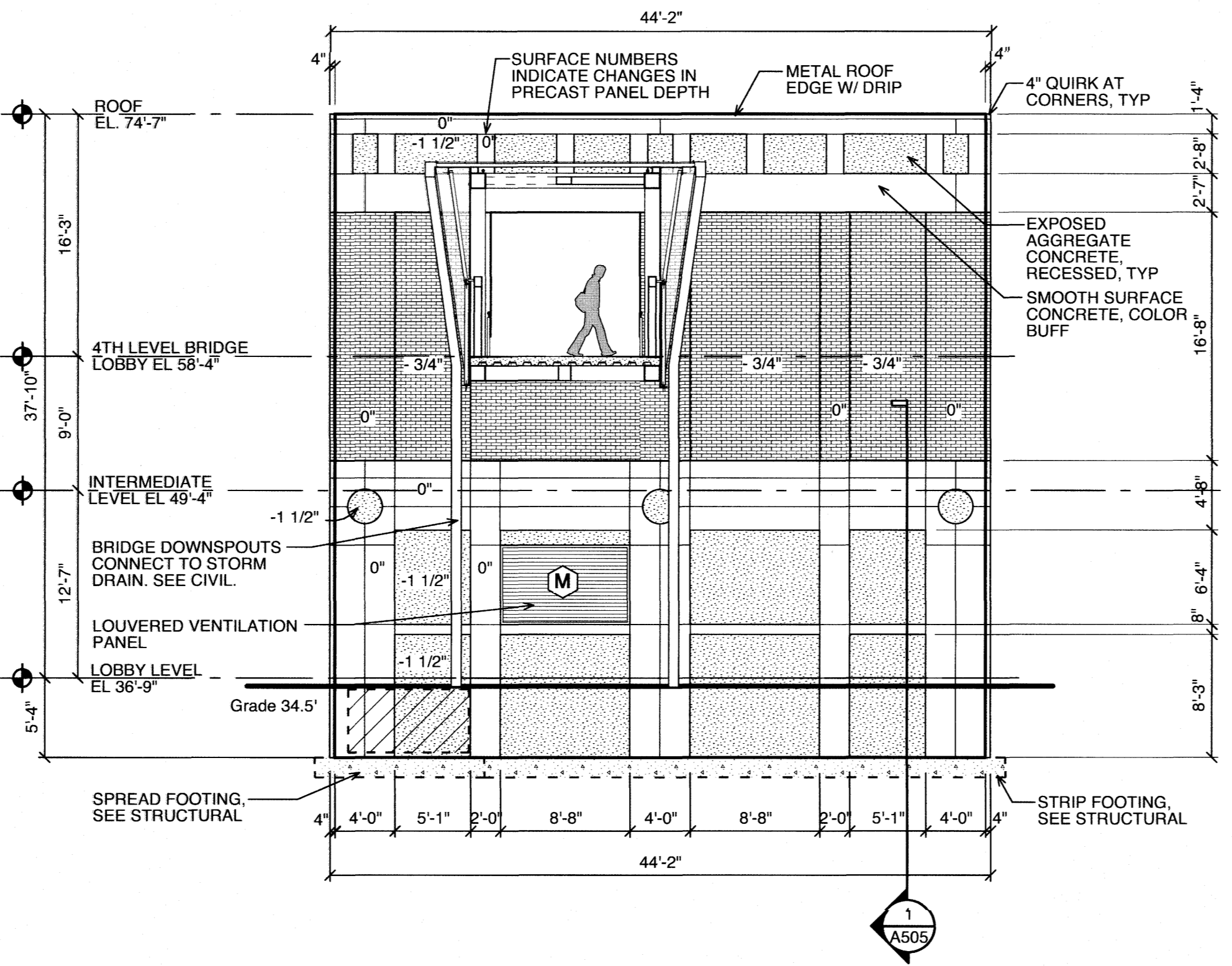
Approved Construction Plan	
Name	Date
Planning	
Traffic	
Fire	

CITY OF WILMINGTON NORTH CAROLINA	
Public Services	Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN	
Date	Permit #
Signed:	

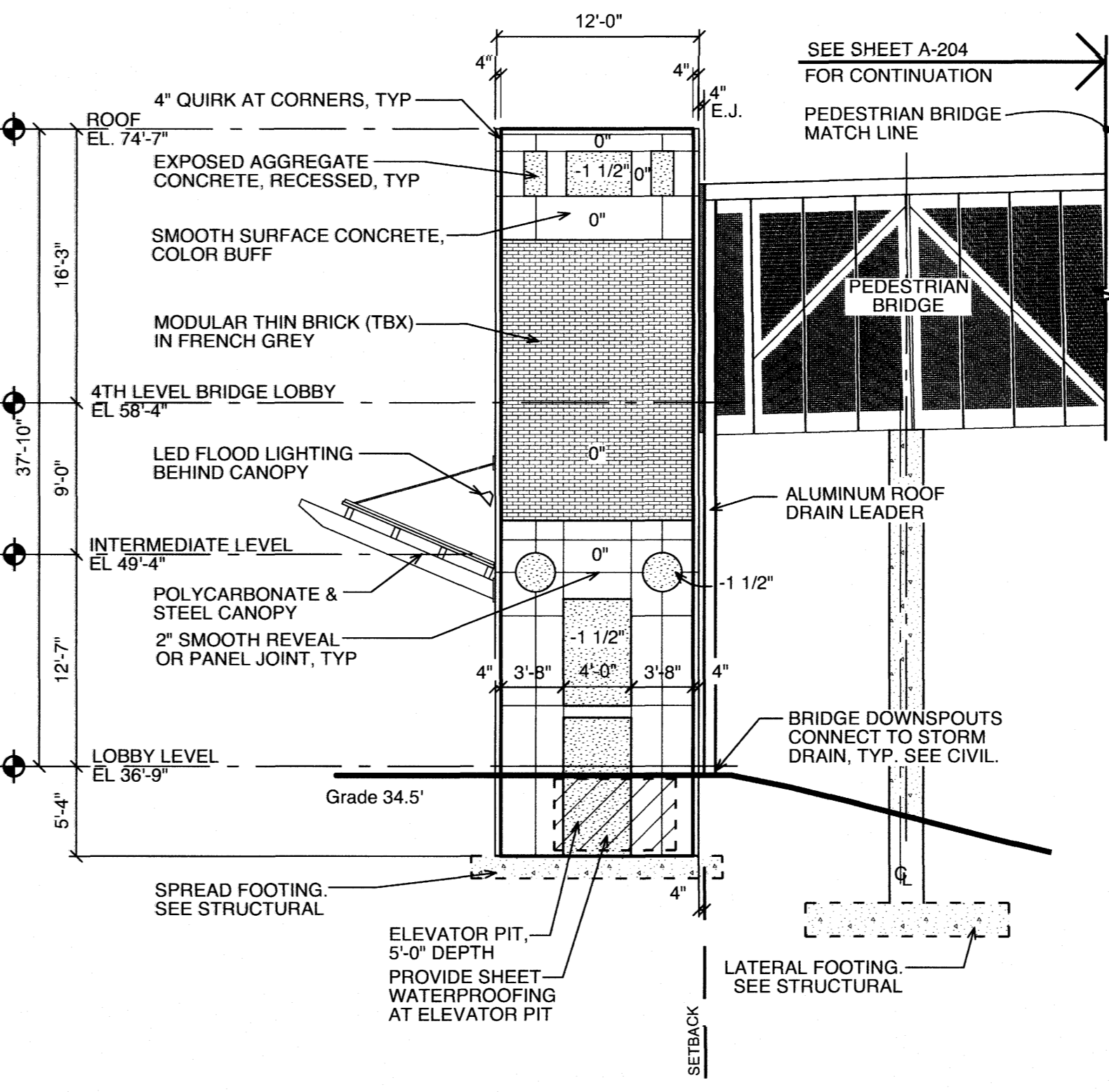
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



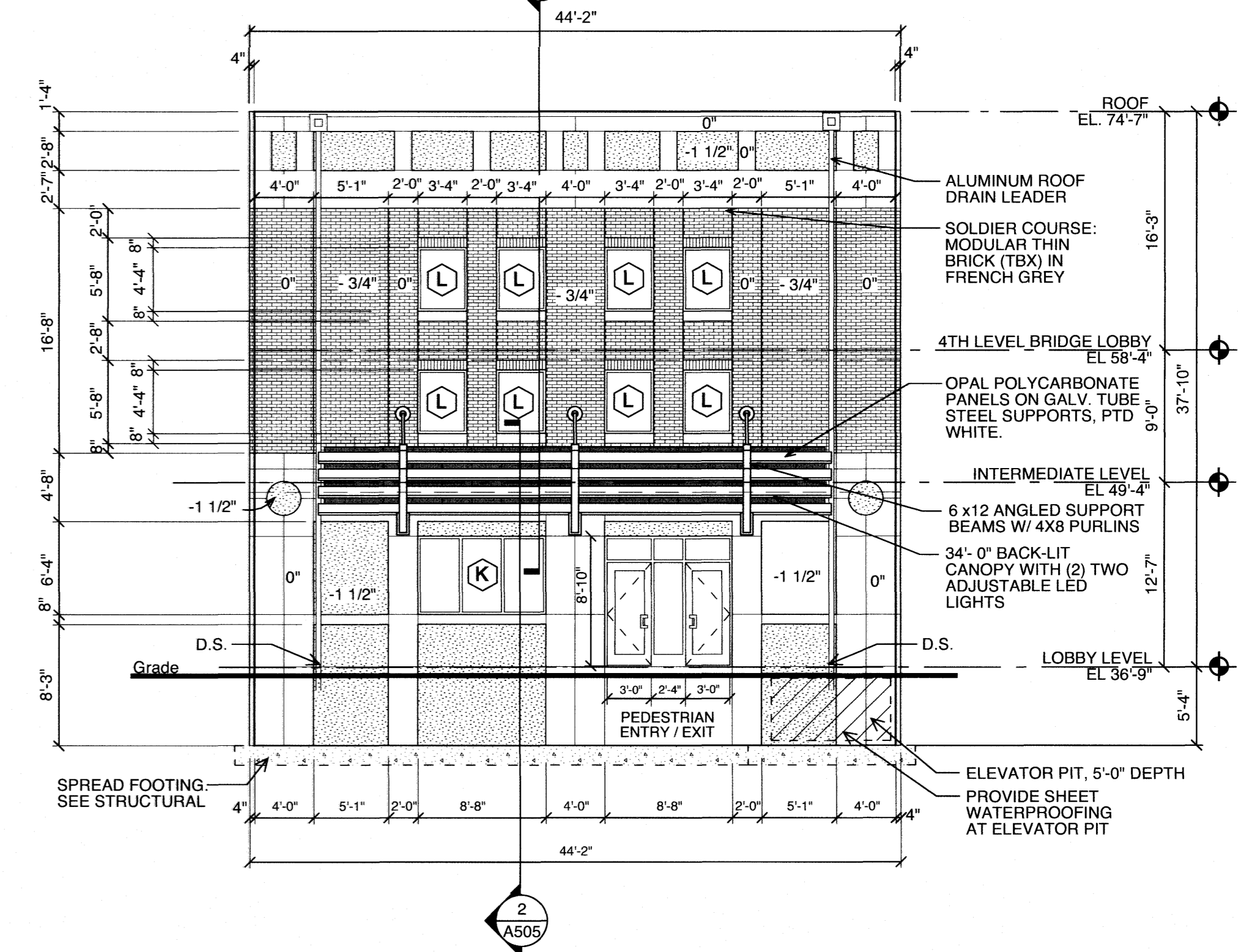
4 South Elevation @ Stair Tower #3
 A-203 scale: 1/8" = 1'-0"



3 West Elevation @ Stair Tower #3
 A-203 scale: 1/8" = 1'-0"



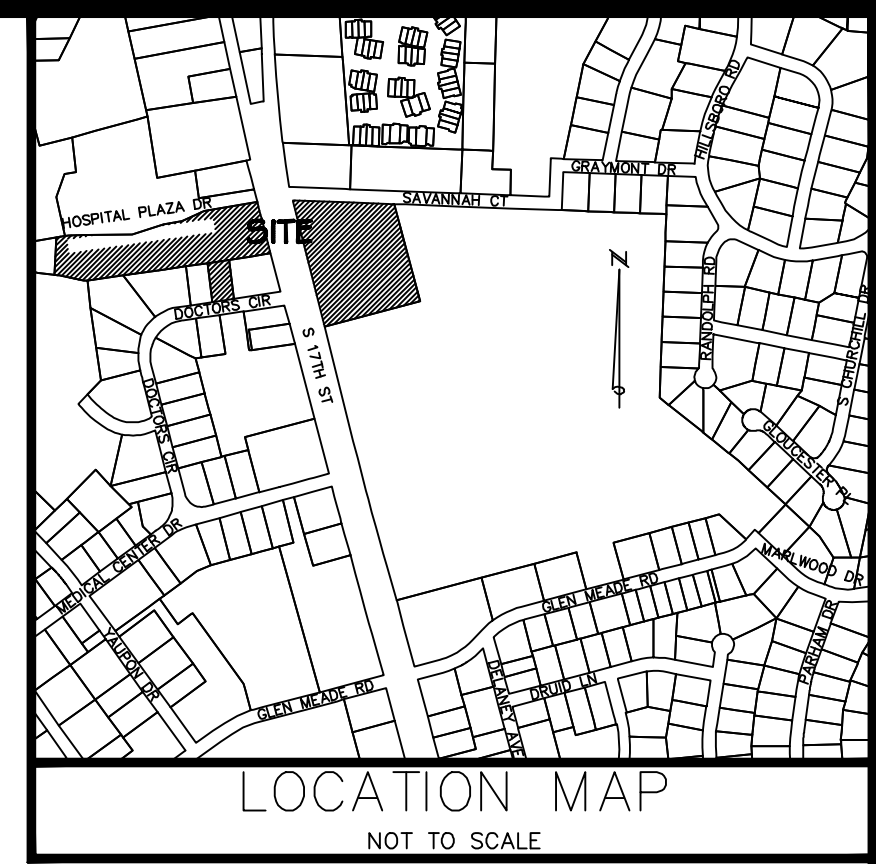
2 North Elevation @ Stair Tower #3
 A-203 scale: 1/8" = 1'-0"



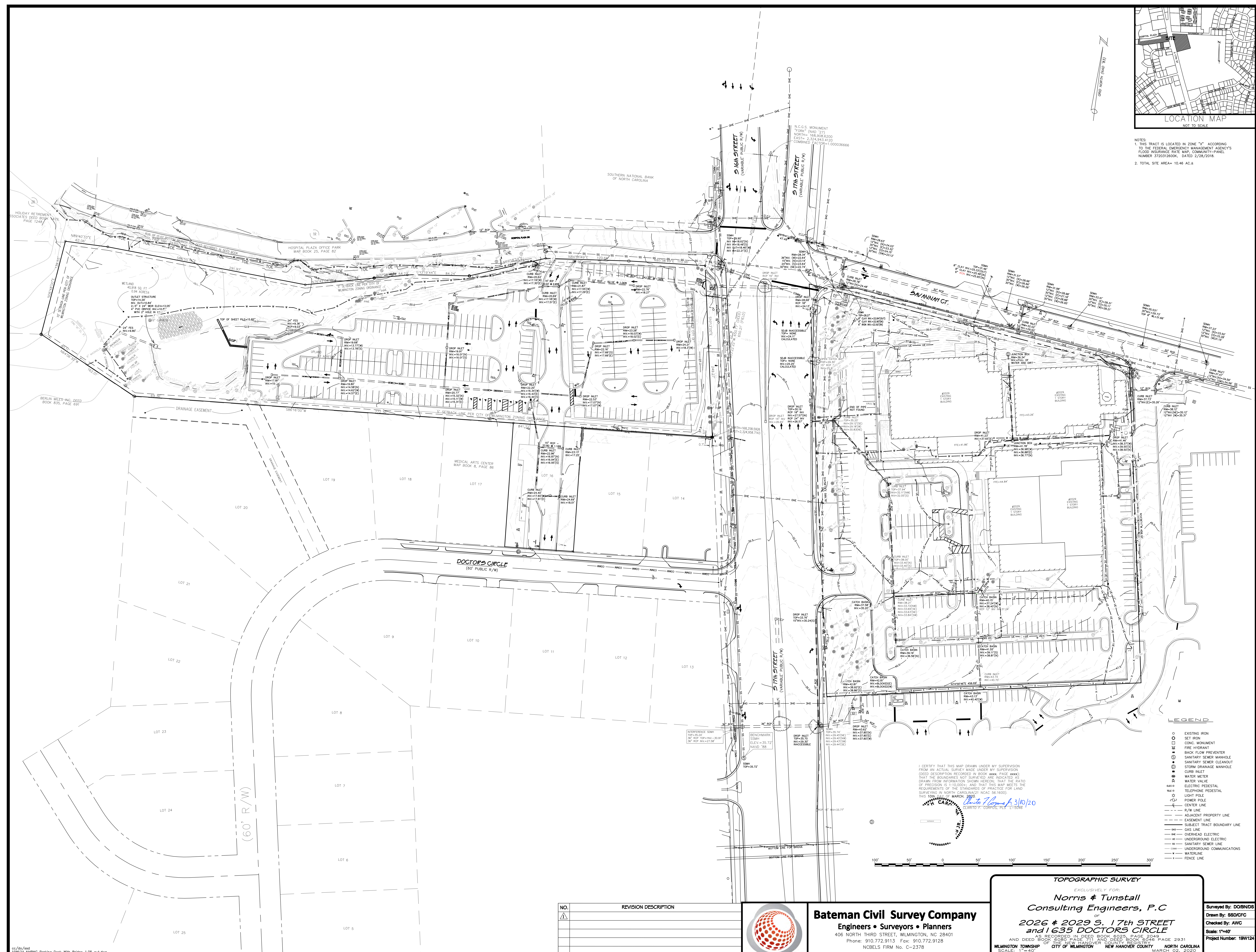
1 East Elevation @ Stair Tower #3
 A-203 scale: 1/8" = 1'-0"

STAIR #3
TOWER #3
ELEVATIONS AND
SECTION

JOB NUMBER	
DRAWN BY	DP
CHECKED BY	BOWMAN
DATE	
REVISIONS	



NOTES:
 1. THIS TRACT IS LOCATED IN ZONE "X" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 370031260K, DATED 2/28/2018.
 2. TOTAL SITE AREA = 10.46 AC±



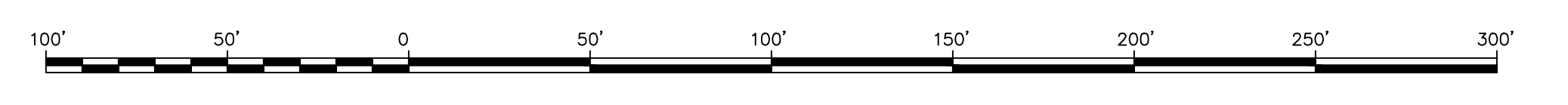
INTERSECTION CORNER
 34° 30' 00" TOP=35.24'
 34° 30' 00" TOP=35.24'
 34° 30' 00" TOP=35.24'
 34° 30' 00" TOP=35.24'

BENCHMARK
 SOUTH
 ELEV. = 35.72'
 NAD 83

I CERTIFY THAT THIS MAP DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK XXXX, PAGE XXXX) THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION SHOWN HEREON. THAT THE RATIO OF PRECISION IS 1 TO 10,000. AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (NCE&S 1600).
 THIS 10th DAY OF MARCH, 2020

Carlo P. Foglia, P.E. 3/10/20
 NORTH CAROLINA
 SURVEYOR
 1-5048

- LEGEND**
- EXISTING IRON SET IRON
 - CONC. MONUMENT
 - FIRE HYDRANT
 - ⊙ BACK FLOW PREVENTER
 - ⊙ SANITARY SEWER MANHOLE
 - ⊙ SANITARY SEWER CLEANOUT
 - ⊙ STORM DRAINAGE MANHOLE
 - ⊙ CURB INLET
 - ⊙ WATER METER
 - ⊙ WATER VALVE
 - ⊙ ELECTRIC PEDESTAL
 - ⊙ TELEPHONE PEDESTAL
 - ⊙ LIGHT POLE
 - ⊙ POWER POLE
 - CENTER LINE
 - R/W LINE
 - ADJACENT PROPERTY LINE
 - EASEMENT LINE
 - SUBJECT TRACT BOUNDARY LINE
 - GAS LINE
 - OVERHEAD ELECTRIC
 - UNDERGROUND ELECTRIC
 - SANITARY SEWER LINE
 - UNDERGROUND COMMUNICATIONS
 - WATERLINE
 - FENCE LINE



NO.	REVISION DESCRIPTION



Bateman Civil Survey Company
 Engineers • Surveyors • Planners
 406 NORTH THIRD STREET, WILMINGTON, NC 28401
 Phone: 910.772.9113 Fax: 910.772.9128
 NCBSLS FIRM No. C-2378

TOPOGRAPHIC SURVEY
 EXCLUSIVELY FOR:
Norris & Tunstall
 Consulting Engineers, P.C.
 OF
2026 & 2029 S. 17th STREET
and 1635 DOCTORS CIRCLE
 AS RECORDED IN DEED BOOK 6025, PAGE 2049
 AND DEED BOOK 6030, PAGE 711 AND DEEDS BOOK 6030, PAGE 2931
 OF THE NEW HANOVER COUNTY REGISTRY
 CITY OF WILMINGTON NEW HANOVER COUNTY
 MARCH 02, 2020

Surveyed By: DO/BN/DS
 Drawn By: SSD/CFC
 Checked By: AWC
 Scale: 1"=40'
 Project Number: 19W124